

Parcel ID # MI 2155-1PERMIT # 2200003

Oneida County Zoning  
P.O. Box 400  
Rhineland, WI 54501

**ONEIDA COUNTY  
ADMINISTRATIVE REVIEW PERMIT  
APPLICATION**

Complete in black or blue ink only

Office Use Only:

Photos to be scanned? ☐ Yes ☒ No

File name: \_\_\_\_\_

<b>Property owner's last name:</b> T A Solberg Co Inc	<b>First:</b>	<b>MI:</b>
<b>Address:</b> PO Box 50		
<b>City:</b> Minocqua	<b>State:</b> WI	<b>Zip:</b> 54548
<b>Telephone number:</b> 262-308-3594		
<b>Applicant's last name:</b> Demissie	<b>First:</b> Meron	<b>MI:</b>
<b>Address:</b> 3500 Deer Creek Road		
<b>City:</b> Palo Alto	<b>State:</b> CA	<b>Zip:</b> 9404-94304
<b>Telephone number:</b> 612 987-4788		

**PROPERTY INFORMATION**

<b>Section:</b> 10	<b>Town:</b> 39	<b>Range:</b> 06	<b>Acres:</b> 1.36	<b>Property dimensions:</b>
<b>Legal Desc</b> (1/4 1/4, Gov't Lot, CSM) Doc 760638/729880 PT NW NE & SW NE LOT 8 CSM V16 P3658				
<b>Subdivision and Lot #:</b> Parcel ID MI-2155-1				
<b>Address and directions to property:</b> 8707 Blumenstein Rd. Minocqua WI 54548 Left onto Dahl St, left onto Oneida Ave, right onto E Kemp St, take first exit to WI-47 N and continue 23.3 mi. Left onto Townline Rd, left on US-51 S, right on Blumenstein Rd. Lot is first entrance on left.				
Check one: <input type="checkbox"/> Shoreland property (within 1000' of lake or 300' from stream/river) <input checked="" type="checkbox"/> Non-shoreland property (If this is shoreland property, a Shoreland Alteration Permit may be required)				
<b>Name of navigable water property abuts:</b> N/A				
<b>Is property adjacent to a wetland?</b> No wetlands within the project vicinity				
<b>Nature of project</b> (example: retail clothing store, storage units, office, etc.) Tesla Superchargers at the Trig's overflow parking lot				
Will any merchandise/services offered involve firearms, weapons, ammunition, liquor, tobacco, fireworks, adult themes (including books/magazines)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, explain in detail on page 5 and provide a copy of all licenses, permits, etc.				

**RECEIVED  
MINOCQUA OFFICE**

<b>Type:</b> <input type="checkbox"/> Residential: <input type="checkbox"/> Single family <input type="checkbox"/> Multiple family <input checked="" type="checkbox"/> Business <input type="checkbox"/> Mobile home park	<b>Use:</b> <input checked="" type="checkbox"/> Year round <input type="checkbox"/> Seasonal
<b>Sanitary/Sewer:</b> <input type="checkbox"/> Sanitary Permit # <u>N/A</u> <input type="checkbox"/> Daily wastewater flow _____ <input type="checkbox"/> Existing septic system evaluation date: _____ <input type="checkbox"/> Sanitary district connection <input type="checkbox"/> Other (specify) _____ <input type="checkbox"/> Number of bedrooms upon completion: _____	<b>Water supply:</b> <input type="checkbox"/> Private <input type="checkbox"/> Municipal <input type="checkbox"/> Other <u>N/A</u> <b>Permit approvals other than County permits:</b> <input type="checkbox"/> WDNR (Permit # _____) <input type="checkbox"/> US Army Corps of Engineers (Permit # _____) <input type="checkbox"/> State building permit (Permit # _____) <input type="checkbox"/> Other: _____
<b>Parking:</b> Parking shall be provided for customers and employees. Parking plan shall show number, location, and size of existing and proposed parking.	<b>Storm water</b> (new structures and/or expansion/alterations of existing structures): Storm water shall be contained on the property and a plan submitted for storm water management. If storm water is directed to the road, written permission shall be obtained from the Town, State, or County.
<b>Property Access:</b> Ingress/egress to the property shall be approved by the agency of jurisdiction of the road. Show on site plan existing and/or proposed.	

QUANTITY OF HAZARDOUS WASTE (IDENTIFY THE TYPES, FREQUENCY, AND HOW IT WILL BE DISPOSED OF)	PRESENT	PROPOSED
	No Hazardous waste on site	No change
AVERAGE WEEKLY GENERATION OF HOUSEHOLD OR GENERAL BUSINESS GARBAGE	No garbage noted on site	No change
SQUARE FOOTAGE OF FLOOR SPACE USED FOR PROJECT. PROVIDE FLOOR PLAN & IDENTIFY USE OF EACH ROOM	Site plan attached	Site plan attached
HOURS OF OPERATION	Overflow parking lot typically follows the pattern of the Trig's parking lot. Peak usage over the summer and around holidays.	Expected to follow similar pattern with peak usage over the summer and around holidays.
TOTAL # OF EMPLOYEES PEAK # OF EMPLOYEES AT ANY GIVEN TIME	Currently used as an over flow parking lot. Trig's Employees utilize the main parking lot	During Construction - 4 to 6 Weeks, expect less than 10 employees. No employees will be onsite during normal operation, unless it is for scheduled wellness or maintenance site visit.
AVERAGE DAILY NUMBER OF CUSTOMERS (IDENTIFY SEATING CAPACITY, IF ANY)	Varies, but typically busier during evening and around major holidays.	Usage of charging varies as it depends on the season and day of the week. Likely, 10-50 with an average of 20 charging sessions per day.
USE OF YARD SPACE (INCLUDE OUTDOOR INVENTORY), STORAGE AND COMMERCIAL VEHICLES, OUTDOOR OPERATIONS, AND NOISE GENERATED	Currently used as an over flow parking lot	8 charging stalls and site is still going to serve for large vehicle parking.
# OF PARKING SPACES – PROVIDE A PARKING PLAN	Identified 27 marked large vehicle parking stalls	8 charging stalls & 25 large vehicle parking stalls.
PRESENCE OF AIR EMISSIONS OR ODORS (WILL THE PROJECT CREATE ODORS, WHAT TYPE)	Did not notice any air emission issues or odors during the site visit	No change
EXTERIOR LIGHTING (LIST TYPE, WATTAGE, NUMBER OF LIGHTS, AND THE PURPOSE)	There is one street light located along Plaza road	Project is prosing to add one more yard light in the area
ADJACENT PROPERTIES – IDENTIFY STRUCTURES AND USES	To the North - Empty lot, To the south - Commercial Building & Restaurant To the West - Empty lot & To the East - Trig's & Gas Station	No change
OTHER IMPACTS ON SURROUNDING PROPERTY	Site currently serves as an overflow parking lot for the area.	Expected to bring foot traffic to surrounding properties.
IMPACT ON GOVERNMENTAL SERVICES (WHAT EFFECT WILL THE PROJECT HAVE ON AMBULANCE, FIRE, SCHOOL BUSING, ETC.	Site currently serves as an overflow parking lot and did not see any impact on governmental services.	No change

**\* ATTACH SEPARATE SHEET IF EXTRA SPACE IS NEEDED**

<b>Note 1</b> feet to centerline of road	<b>Note 2</b> feet to right-of-way	<b>Note 3</b> feet to both side lot lines
<u>N/A</u> feet to septic tank	<u>N/A</u> feet to absorption area	<u>N/A</u> feet to ordinary high water mark
<u>N/A</u> feet to wetland area		

<input type="checkbox"/> outside display areas	<input type="checkbox"/> landscaping	<input type="checkbox"/> location of signage
<input type="checkbox"/> garbage bins/dumpsters	<input type="checkbox"/> vegetative buffer	<input type="checkbox"/> location/type lighting
<input type="checkbox"/> fencing or screening	<input type="checkbox"/> equipment storage area	<input type="checkbox"/> parking area w/number of vehicles

Note 1:  
V3 cabinet to centerline of Plaza road: 34'-8"  
Switchboard to centerline of corner of Plaza road: 37'-9"  
Charge-post (1A thru 2D) to centerline of Plaza Road 40'-2"  
Charge-post 2D to centerline of corner of Plaza road 44'-6"

Note 2:  
V3 Cabinet to edge of right-of-way: 2'-1"  
Charge-post (1A thru 2D) to edge of right-of-way: 7'-6"  
Charge-post 2D to edge of right-of-way: 7'-7"  
Switchboard to edge of right-of-way: 6"

Note 3:  
V3 cabinet to North property lot line is 2'-1"  
Charge post (1A thru 2D) to North property lot line is 7'-6"  
Charge-post 2D to northeast property lot line: 7'-7"  
Charge-post 1A to west property lot line: 25'-10"  
Charge-post 1A thru 2D to the south property lot line: 142'-1"  
Switchboard to Northeast property lot line: 6"

**Are architectural, engineering, or contractor plans available for the building(s) and/or other structures on the property? If so, please attach. If not, please provide a scaled drawing of the buildings below including an elevation drawing. Show floor plan of entire building and identify proposed area.**

Accurate drawings must be to this scale (1 square = 4 ft) (indicate north with arrow)

Site Plan Attached

## PROJECT DETAILS:

Explain products/services offered in detail:

Tesla is proposing to put a Supercharger at the Trig's overflow parking lot at address 8707 Blumenstein Road, Minocqua WI 54548 in Oneida County. Currently this parking lot is used as an overflow parking lot for Trig's for larger vehicles such as RVs, trucks, or vehicles with trailers.

The property is relatively flat with an elevation of 1601 feet and it is located outside of the Oneida county shoreland district.

Tesla is proposing to have an 8-stall charging area. The proposed equipment includes 8 charging posts, 2 V3 Cabinets, a switchboard that will house both Tesla and Utility equipment and a Utility owned Transformer. This pre-assembled unit consists of 4 charge posts, signs, and bollards with a V3 cabinet behind the charge posts. There will be a total of 2 units for an 8-stall site. The site will also have a yard light between the two pre-assembled units.

The area is serviced by Wisconsin Public Services corporation (WPS). WPS has an underground cable, a junction box and overhead pole within the Right of Way to the East of the parking. WPS will run an underground feed from the existing junction box to a new transformer that will provide power to the Tesla equipment. WPS will align their construction to start the same time as the Tesla construction.

Tesla anticipates that by locating the superchargers at the Trig's overflow parking lot, it will bring in additional foot traffic to Trig's and surrounding business in the area.

ADMINISTRATIVE REVIEW PERMIT EXPIRATION: An Administrative Review Permit shall expire two years from the date of issuance and may not be renewed.

APPLICANTS CERTIFICATION: The undersigned hereby applies for the above described Administrative Review Permit and certifies that the information provided is complete, accurate, and that all projects will be completed in compliance with the requirements of the Oneida County Zoning Ordinance and all other applicable ordinances and laws of the State of Wisconsin. The applicant understands that the issuance of this permit creates no legal liability, express or implied, on Oneida County and that failure to comply with the permit may result in suspension or revocation of this permit or other penalty.

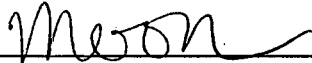
Print name (owner/agent)

MERON DEMISSIE

Date

11/24/2021

Signature (owner/agent)



Date

11/24/2021

Approved by Planning & Zoning Committee 1/05/05

## OFFICE USE ONLY

## CONDITIONS OF APPROVAL (office use only)

SEE LETTER DATED 1/4/2022

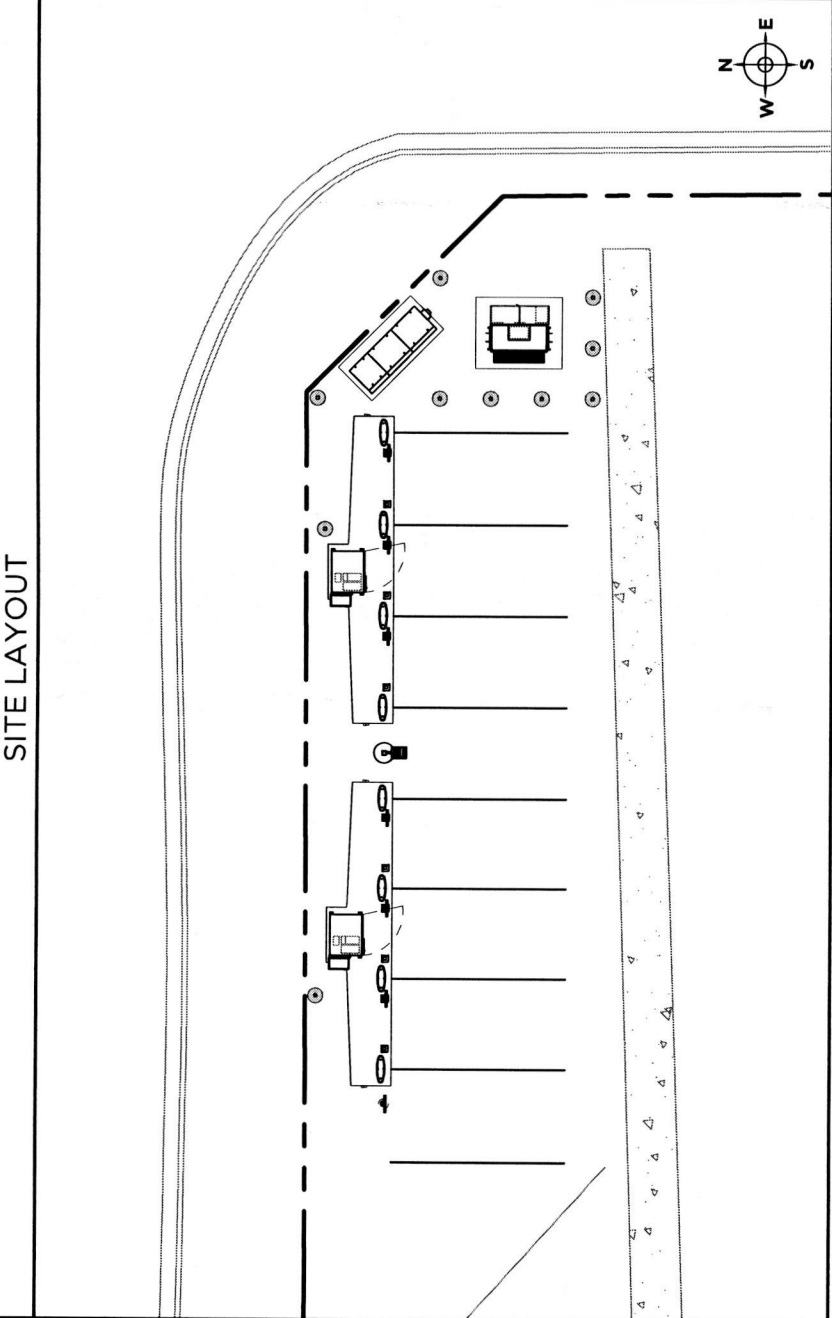
<input checked="" type="checkbox"/> Conforming <input type="checkbox"/> Nonconforming	Zoning district: 07	Report code:
Is the property located in a floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	FIRM dated: 5/16/2013	
Remarks and/or conditions of issuance: SEE LETTER DATED 1/4/2022 FOR CONDITIONS OF APPROVAL.		
This application has been reviewed pursuant to Ordinance dated: 6/5/21		
Sanitary inspection fee:	Total fee:	Receipt #: 219 747
Granted by: <i>K. J. Jernick</i>	Issued date: 1/4/2022	
Zoning Administrator's signature	(staff initials) CB	Expiration date: 1/31/2024



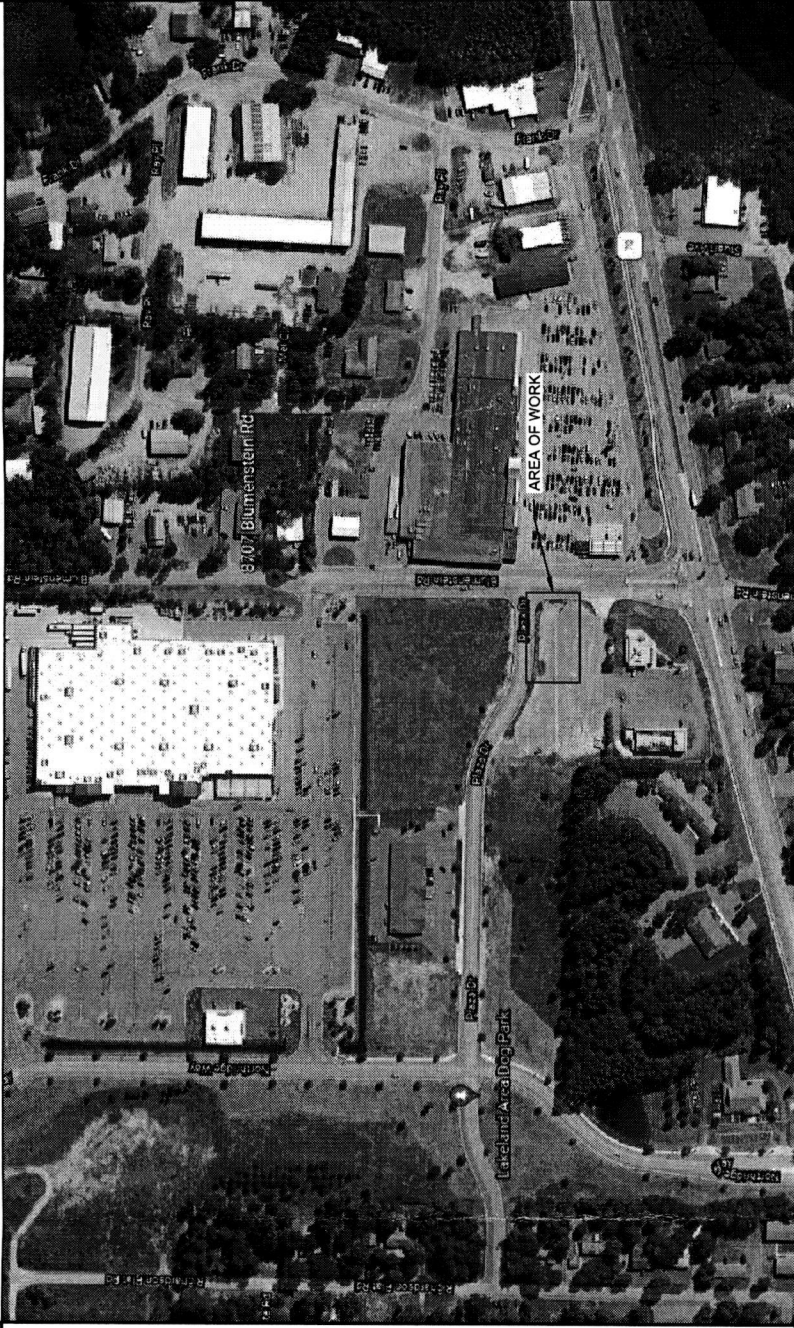
TESLA SUPERCHARGER\_MINOCQUA, WI  
8 SUPERCHARGERS  
APN: 016001-2155-00001

TRT: 18086

SITE LAYOUT



AERIAL MAP



ABBREVIATIONS				PROJECT TEAM		DESIGN CRITERIA	PROJECT SCOPE	SYSTEM SUMMARY		SHEET INDEX																																	
AC ADA ESS BLDG CLR CONC COMM DC DIA DIST EQ EGC (E) EA EMT EV GAB GALV GEC GND HVAC I IMP INV ISC KVA KW KWH LV MAX MIN	ALTERNATING CURRENT AMERICANS WITH DISABILITIES ACT ENERGY STORAGE SYSTEM BUILDING CLEAR CONCRETE COMMUNICATION DIRECT CURRENT DIAMETER DISTANCE EQUAL EQUIPMENT GROUNDING CONDUCTOR EXISTING ELECTRICAL METALLIC TUBING ELECTRIC VEHICLE GRADED AGGREGATE BASE GALVANIZED GROUNDING ELECTRODE GROUND HEATING, VENTILATION, & AIR CONDITIONING CURRENT CURRENT AT MAX POWER INVERTER SHORT CIRCUIT CURRENT KILOWATT AMPERE KILOWATT KILOWATT-HOUR LOW-VOLTAGE MAXIMUM MINIMUM	MV (N) NIC NRTL NTS OC PCC PLC PL PV PP PSU PVC RSD SCCR SCH SQ. IN. SS SSD STC TYP UN VIF W	MEDIUM-VOLTAGE NEW NATIONAL ELECTRIC CODE NOT IN CONTRACT NATIONALLY-RECOGNIZED TESTING LABORATORY NOT TO SCALE ON CENTER POINT OF COMMON COUPLING PROPERTY LINES POWER LINE COMMUNICATION PHOTOVOLTAIC POWERPACK PRE-ASSEMBLED SUPERCHARGER UNIT POLYVINYL CHLORIDE RAPID SHUTDOWN SHORT CIRCUIT CURRENT RATING SCHEDULE SQUARE INCHES STAINLESS STEEL SEE STRUCTURAL DRAWINGS STANDARD TESTING CONDITIONS TYPICAL UNLESS OTHERWISE NOTED VERIFY IN FIELD WATT	STRUCTURAL ENGINEER OF RECORD: PZSE STRUCTURAL ENGINEERS 1478 STONE PONT DR. SUITE 190 ROSEVILLE, CA 95661 P: (916)961-3960  PROJECT DESIGNER: VINEAL SINGH TESLA, INC. 3500 DEER CREEK RD. PALO ALTO, CA 94304 (650) 681-6475 VINEASINGH@TESLA.COM	ELECTRICAL ENGINEER OF RECORD: BILL LOU, PE, PH, D PAULICON CORPORATION 3463 ASHTON COURT PALO ALTO, CA 94306 (650) 269-6888 PAULICONEE@GMAIL.COM	1. WIND DESIGN DESIGN WIND SPEED = 115 MPH (ULTIMATE) RISK CATEGORY = II WIND EXPOSURE = C 2. SEISMIC DESIGN SITE CLASS = D S <sub>s</sub> = 0.043 / S <sub>1</sub> = 0.023 S <sub>ds</sub> = 0.046 / S <sub>d1</sub> = 0.036 SEISMIC DESIGN CATEGORY = A BASIC SEISMIC-FORCE-RESISTING SYSTEM = NON-STRUCTURAL COMPONENT R = 2.57 / a <sub>p</sub> = 1.0 GROUND SNOW LOAD = 60 psf  3.	INSTALLATION OF SUPERCHARGERS AND ASSOCIATED AC AND DC EQUIPMENT.  INSTALLATION OF CONCRETE EQUIPMENT PADS AND WALKWAYS.  INSTALLATION OF NEW PARKING STRIPING AND SIGNAGE.  INSTALLATION OF NEW LED LIGHTING.	<table><tr><th colspan="2">SUPERCHARGER SYSTEM SUMMARY</th></tr><tr><th>EQUIPMENT</th><th>QTY</th></tr><tr><td>PRE-ASSEMBLED SUPERCHARGER UNITS</td><td>2</td></tr><tr><td>UTILITY TRANSFORMER</td><td>1</td></tr><tr><td>SWITCHBOARD</td><td>1</td></tr><tr><td>LIGHT POLES</td><td>1</td></tr></table>	SUPERCHARGER SYSTEM SUMMARY		EQUIPMENT	QTY	PRE-ASSEMBLED SUPERCHARGER UNITS	2	UTILITY TRANSFORMER	1	SWITCHBOARD	1	LIGHT POLES	1	<table><tr><th>SHEET #</th><th>SHEET TITLE</th></tr><tr><td>G-001</td><td>COVER PAGE</td></tr><tr><td>G-002</td><td>NOTES</td></tr><tr><td>G-101</td><td>DEMOLITION PLAN</td></tr><tr><td>G-102</td><td>PROPERTY SITE PLAN</td></tr><tr><td>E-101</td><td>SITE PLAN</td></tr><tr><td>E-201</td><td>SINGLE LINE DIAGRAM</td></tr><tr><td>E-501</td><td>ELECTRICAL DETAILS</td></tr><tr><td>S-301</td><td>STRUCTURAL SITE PLAN</td></tr><tr><td>S-501</td><td>STRUCTURAL DETAILS</td></tr><tr><td>C-101</td><td>GRADING PLAN</td></tr></table>	SHEET #	SHEET TITLE	G-001	COVER PAGE	G-002	NOTES	G-101	DEMOLITION PLAN	G-102	PROPERTY SITE PLAN	E-101	SITE PLAN	E-201	SINGLE LINE DIAGRAM	E-501	ELECTRICAL DETAILS	S-301	STRUCTURAL SITE PLAN	S-501	STRUCTURAL DETAILS	C-101	GRADING PLAN
SUPERCHARGER SYSTEM SUMMARY																																											
EQUIPMENT	QTY																																										
PRE-ASSEMBLED SUPERCHARGER UNITS	2																																										
UTILITY TRANSFORMER	1																																										
SWITCHBOARD	1																																										
LIGHT POLES	1																																										
SHEET #	SHEET TITLE																																										
G-001	COVER PAGE																																										
G-002	NOTES																																										
G-101	DEMOLITION PLAN																																										
G-102	PROPERTY SITE PLAN																																										
E-101	SITE PLAN																																										
E-201	SINGLE LINE DIAGRAM																																										
E-501	ELECTRICAL DETAILS																																										
S-301	STRUCTURAL SITE PLAN																																										
S-501	STRUCTURAL DETAILS																																										
C-101	GRADING PLAN																																										
						RECEIVED MINOCQUA OFFICE		DEC 01 2021		ONEIDA COUNTY PLANNING & ZONING																																	

TESLA

3500 DEER CREEK RD.  
PALO ALTO, CA 94304  
(650) 981-5500

ORIGINAL SIZE 24"x36"  
SHEET SIZE ARCH "D"



William K Lou  
Digitally signed by  
Date: 2021.08.13 09:51:08  
+0700

TESLA SUPERCHARGER\_MINOCQUA, WI  
8 SUPERCHARGERS  
TESLA SUPERCHARGER\_MINOCQUA, WI  
8707 BLUMENSTEIN RD  
MINOCQUA, WI 54548

NO.	REVISION
A	ADD COMMENTS
	08/09/21
	DATE

COVER PAGE	
G-001	
JB-545079-00	
REV: A	IFP



GENERAL NOTES

ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ANY OTHER REGULATING AUTHORITIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK.

PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FROM TESLA OF ANY DISCREPANCIES. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED AT THE SUBCONTRACTORS SOLE EXPENSE.

SUBCONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO TESLA FOR APPROVAL BEFORE MAKING ANY CHANGES. DEVIATION FROM PLANS BEFORE WRITTEN APPROVAL FROM TESLA PLACES LIABILITY ON THE SUBCONTRACTOR.

ALL EQUIPMENT SHALL BE MOUNTED AS SHOWN. WHERE DETAILS ARE NOT PROVIDED, CONTRACTOR SHALL USE STANDARD CONSTRUCTION PRACTICES.

ALL SURFACES SHALL BE PATCHED AND PAINTED AROUND NEW DEVICES AND EQUIPMENT TO MATCH EXISTING FINISHES.

ANY METAL SHAVINGS FROM SITE WORK SHALL BE CLEANED FROM ALL SURFACES WHERE OXIDIZED OR CONDUCTIVE METAL SHAVINGS MY CAUSE RUST, ELECTRICAL SHORT CIRCUITS, OR OTHER DAMAGE.

APPROVALS FROM BUILDING INSPECTORS SHALL NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE DRAWINGS.

NEW PAVEMENT INSTALLED AS PART OF THIS PROJECT SHALL MATCH EXISTING PAVEMENT SECTION. ASPHALT AND GAB DEPTHS SHALL BE MAINTAINED.

ELECTRICAL NOTES

GENERAL NOTES

- ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE AS AMENDED BY APPLICABLE STATE AND LOCAL CODES.
- ALL WIRING SHALL BE MANAGED IN A PROFESSIONAL, WORKMAN-LIKE MANNER AND MUST BE SUPPORTED, SECURED, AND PROTECTED TO PREVENT DAMAGE.
- AC CIRCUIT CONDUCTORS SHALL BE IDENTIFIED BY PHASE AND SYSTEM PER ART 210.5 OR 215.12. UNLESS OTHERWISE REQUIRED BY ART 210.5(1) OR AHJ, COLOR-CODING OF POWER CONDUCTORS SHALL BE AS FOLLOWS:

CONDUCTOR	277/480V	120/208V
PHASE A	BROWN	BLACK
PHASE B	ORANGE	RED
PHASE C	YELLOW	BLUE
NEUTRAL	GRAY	WHITE

- DC CIRCUIT CONDUCTORS SHALL BE IDENTIFIED PER ART 210.5 OR 215.12:
- CONDUCTOR
- DC+  
RED
- DC-  
BLACK
- RED-STRIPED  
BLACK-STRIPED
- ALT COLOR
- TERMINATIONS OF AC, DC, AND COMMUNICATIONS CONDUCTORS SHALL BE PROFESSIONALLY AND LEGIBLY LABELED WITH CIRCUIT SCHEDULE IDENTIFIER, CONDUCTOR SIZE (AS APPLICABLE) AND TERMINATION TORQUE.
- ALL EQUIPMENT SHALL BE LISTED BY A NRTL IN COMPLIANCE WITH ART 110.3. WHERE EXISTING NRTL LISTING CANNOT BE MAINTAINED, ENGINEERING APPROVAL SHALL BE OBTAINED PRIOR TO EQUIPMENT MODIFICATION, AND THE EQUIPMENT SHALL BE RELISTED BY A SUITABLE NRTL.
- UNDERGROUND CONDUCTORS & CABLES TO BE INSTALLED IN CONDUIT UON.
- ALL WIRES SHALL BE PROVIDED WITH STRAIN RELIEF AT ALL ENTRY INTO BOXES AS REQUIRED BY NRTL LISTING.

- REFER TO MANUFACTURER'S CURRENT PLANNING AND INSTALLATION MANUAL FOR TORQUE SPECS FOR ALL BOLTS AND TERMINAL CONNECTIONS.
- ALL CONDUCTOR TERMINATIONS ON BUSSING OR TRANSFORMER SPADES SHALL BE MADE WITH HIGH-PRESS CRIMP LUGS UON.
- ALL TERMINATIONS OF ALUMINUM CONDUCTORS SHALL BE PROPERLY INSTALLED WITH BEST PRACTICES INCLUDING BUT NOT LIMITED TO:
  - USE OF TERMINATION EQUIPMENT RATED FOR ALUMINUM AT THE CONDUCTOR TEMPERATURE, CURRENT, AND VOLTAGE
  - ALLOWANCE FOR MOVEMENT DUE TO THERMAL EXPANSION/CONTRACTION
  - PROPER COATING OF EXPOSED ALUMINUM WITH ANTI-OXIDIZATION COMPOUND
  - USE OF CALIBRATED DEVICES TO TORQUE AND MARK TERMINALS TO REQUIRED SETTINGS

- DUCT SEAL COMPOUND SHALL BE APPLIED WHEREVER CONDUITS TRANSITION INDOOR/OUTDOOR OR UNDERGROUND/ABOVEGROUND. REFER TO EQUIPMENT NOTES FOR ADDITIONAL DUCT SEAL REQUIREMENTS.
- BELL ENDS SHALL BE INSTALLED WHEREVER CONDUIT ENTERS EQUIPMENT FROM UNDERGROUND AND WHEREVER POTENTIAL FOR DAMAGE TO CONDUCTORS IS PRESENT AT ANY POINT. BELL ENDS SHALL NOT PREVENT THE USE OF GROUNDING FITTINGS OR COUPLERS WHEN REQUIRED.
- ALL STUB-UPS WITHIN FLOOR-MOUNTED EQUIPMENT SHALL BE 3'-5" ABOVE FINISHED GRADE.
- ALL CONDUITS EXPOSED TO VEHICULAR OR EQUIVALENT PHYSICAL DAMAGE SHALL BE RIGID GALVANIZED STEEL.
- GROUND LUGS SHALL BE RATED FOR THEIR ENVIRONMENT AND CONDITION OF USE.

GENERAL NOTES

ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ANY OTHER REGULATING AUTHORITIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK.

PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FROM TESLA OF ANY DISCREPANCIES. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED AT THE SUBCONTRACTORS SOLE EXPENSE.

SUBCONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO TESLA FOR APPROVAL BEFORE MAKING ANY CHANGES. DEVIATION FROM PLANS BEFORE WRITTEN APPROVAL FROM TESLA PLACES LIABILITY ON THE SUBCONTRACTOR.

ALL EQUIPMENT SHALL BE MOUNTED AS SHOWN. WHERE DETAILS ARE NOT PROVIDED, CONTRACTOR SHALL USE STANDARD CONSTRUCTION PRACTICES.

ALL SURFACES SHALL BE PATCHED AND PAINTED AROUND NEW DEVICES AND EQUIPMENT TO MATCH EXISTING FINISHES.

ANY METAL SHAVINGS FROM SITE WORK SHALL BE CLEANED FROM ALL SURFACES WHERE OXIDIZED OR CONDUCTIVE METAL SHAVINGS MY CAUSE RUST, ELECTRICAL SHORT CIRCUITS, OR OTHER DAMAGE.

APPROVALS FROM BUILDING INSPECTORS SHALL NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE DRAWINGS.

NEW PAVEMENT INSTALLED AS PART OF THIS PROJECT SHALL MATCH EXISTING PAVEMENT SECTION. ASPHALT AND GAB DEPTHS SHALL BE MAINTAINED.

ELECTRICAL NOTES

GENERAL NOTES

- ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE AS AMENDED BY APPLICABLE STATE AND LOCAL CODES.
- ALL WIRING SHALL BE MANAGED IN A PROFESSIONAL, WORKMAN-LIKE MANNER AND MUST BE SUPPORTED, SECURED, AND PROTECTED TO PREVENT DAMAGE.
- AC CIRCUIT CONDUCTORS SHALL BE IDENTIFIED BY PHASE AND SYSTEM PER ART 210.5 OR 215.12. UNLESS OTHERWISE REQUIRED BY ART 210.5(1) OR AHJ, COLOR-CODING OF POWER CONDUCTORS SHALL BE AS FOLLOWS:

CONDUCTOR	277/480V	120/208V
PHASE A	BROWN	BLACK
PHASE B	ORANGE	RED
PHASE C	YELLOW	BLUE
NEUTRAL	GRAY	WHITE

- DC CIRCUIT CONDUCTORS SHALL BE IDENTIFIED PER ART 210.5 OR 215.12:
- CONDUCTOR
- DC+  
RED
- DC-  
BLACK
- RED-STRIPED  
BLACK-STRIPED
- ALT COLOR
- TERMINATIONS OF AC, DC, AND COMMUNICATIONS CONDUCTORS SHALL BE PROFESSIONALLY AND LEGIBLY LABELED WITH CIRCUIT SCHEDULE IDENTIFIER, CONDUCTOR SIZE (AS APPLICABLE) AND TERMINATION TORQUE.
- ALL EQUIPMENT SHALL BE LISTED BY A NRTL IN COMPLIANCE WITH ART 110.3. WHERE EXISTING NRTL LISTING CANNOT BE MAINTAINED, ENGINEERING APPROVAL SHALL BE OBTAINED PRIOR TO EQUIPMENT MODIFICATION, AND THE EQUIPMENT SHALL BE RELISTED BY A SUITABLE NRTL.
- UNDERGROUND CONDUCTORS & CABLES TO BE INSTALLED IN CONDUIT UON.
- ALL WIRES SHALL BE PROVIDED WITH STRAIN RELIEF AT ALL ENTRY INTO BOXES AS REQUIRED BY NRTL LISTING.

- REFER TO MANUFACTURER'S CURRENT PLANNING AND INSTALLATION MANUAL FOR TORQUE SPECS FOR ALL BOLTS AND TERMINAL CONNECTIONS.
- ALL CONDUCTOR TERMINATIONS ON BUSSING OR TRANSFORMER SPADES SHALL BE MADE WITH HIGH-PRESS CRIMP LUGS UON.
- ALL TERMINATIONS OF ALUMINUM CONDUCTORS SHALL BE PROPERLY INSTALLED WITH BEST PRACTICES INCLUDING BUT NOT LIMITED TO:
  - USE OF TERMINATION EQUIPMENT RATED FOR ALUMINUM AT THE CONDUCTOR TEMPERATURE, CURRENT, AND VOLTAGE
  - ALLOWANCE FOR MOVEMENT DUE TO THERMAL EXPANSION/CONTRACTION
  - PROPER COATING OF EXPOSED ALUMINUM WITH ANTI-OXIDIZATION COMPOUND
  - USE OF CALIBRATED DEVICES TO TORQUE AND MARK TERMINALS TO REQUIRED SETTINGS

- DUCT SEAL COMPOUND SHALL BE APPLIED WHEREVER CONDUITS TRANSITION INDOOR/OUTDOOR OR UNDERGROUND/ABOVEGROUND. REFER TO EQUIPMENT NOTES FOR ADDITIONAL DUCT SEAL REQUIREMENTS.
- BELL ENDS SHALL BE INSTALLED WHEREVER CONDUIT ENTERS EQUIPMENT FROM UNDERGROUND AND WHEREVER POTENTIAL FOR DAMAGE TO CONDUCTORS IS PRESENT AT ANY POINT. BELL ENDS SHALL NOT PREVENT THE USE OF GROUNDING FITTINGS OR COUPLERS WHEN REQUIRED.
- ALL STUB-UPS WITHIN FLOOR-MOUNTED EQUIPMENT SHALL BE 3'-5" ABOVE FINISHED GRADE.
- ALL CONDUITS EXPOSED TO VEHICULAR OR EQUIVALENT PHYSICAL DAMAGE SHALL BE RIGID GALVANIZED STEEL.
- GROUND LUGS SHALL BE RATED FOR THEIR ENVIRONMENT AND CONDITION OF USE.

SUPERCHARGER NOTES

- NEUTRAL MUST BE INCLUDED FOR PROPER OPERATION OF TESLA SUPERCHARGERS.
- ALL CONDUIT FURNISHED AND INSTALLED BY CONTRACTOR. ALL WIRING FURNISHED BY TESLA AND INSTALLED BY CONTRACTOR.
- ALL BUSHINGS AND WIRING INTERNAL OF PROPOSED SERVICE EQUIPMENT PROVIDED BY MANUFACTURER. ANY MODIFICATIONS SHALL REQUIRE ENGINEERING APPROVAL PRIOR TO ANY CHANGES BEING MADE.
- ALL ALUMINUM(AI) CONDUCTORS TO RECEIVE ANTI-OXIDATION COATING DURING INSTALLATION. ALL OTHER CONDUCTORS ARE COPPER UNLESS OTHERWISE NOTED.
- THE FOLLOWING CHARGING CABINETS AND THE CHARGING POSTS USED ON THIS PROJECT COMPLY WITH THE FOLLOWING STANDARDS:
  - IEC 61851-23: 2014 / EN 61851-23: 2014
  - UL 2202: 2009(R2012)
  - CAN CSA C22.2 NO. 107.1-01(R2011)
- THE ABOVEMENTIONED STANDARDS IDENTIFY THE REQUIREMENTS MET BY THE EQUIPMENT, INCLUDING BUT NOT LIMITED TO:
  - PROTECTION AGAINST ELECTRIC SHOCK
  - OVERLOAD AND SHORT CIRCUIT PROTECTION
  - FAULT PROTECTION
  - DEGREES OF PROTECTION AGAINST ACCESS TO HAZARDOUS LIVE PARTS
  - THE INTERNAL COMPONENTS OF THE SYSTEM ARE PROPRIETARY. ANY QUESTIONS CONCERNING ACTUAL INTERNAL PROTECTIVE DEVICES MUST BE COORDINATED DIRECTLY WITH TESLA.
- TESLA SUPERCHARGER SIGNAL WIRING RATED 1000V AND USED FOR POWER LIMITED CLASS 1 CIRCUITS SHALL BE PERMITTED TO RUN IN CONDUITS, CABLE TRAYS, WIRE WAYS, OR RACEWAYS ALONG WITH ASSOCIATED DC CONDUCTORS AS ALLOWED PER NEC 725.48(B)(1) AND 620.36.
- SUPERCHARGER CABINET AC CONDUCTORS SIZED UNDER ENGINEERING SUPERVISION USING THERMAL MODELING SOFTWARE. SPECIFICATIONS ABOUT THE TRENCHING REQUIREMENTS ARE SHOWN IN E-501
- FOR DC RUNS IN EXCESS OF 330 FEET, CONTACT TESLA.
- UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC. THE ABOVEGROUND PORTION OF AN UNDERGROUND/ABOVEGROUND TRANSITION SHALL BE SCHEDULE 80 PVC.
- ABOVEGROUND CONDUITS EXPOSED TO VEHICULAR OR EQUIVALENT PHYSICAL DAMAGE SHALL BE RMC. ABOVEGROUND CONDUITS NOT EXPOSED TO VEHICULAR OR EQUIVALENT DAMAGE SHALL BE PERMITTED TO BE EMT.
- IF APPROVED BY TESLA CONSTRUCTION MANAGER, ALTERNATIVE CONDUIT MATERIALS SUCH AS FLEXIBLE OR FIBERGLASS ARE PERMISSIBLE IF INSTALLED PER MANUFACTURER INSTALLATION GUIDELINES AND LOCAL CODES.
- WIRE SPLICES ARE NOT PERMITTED TO EXTEND WIRE RUN LENGTH. CONTRACTOR IS RESPONSIBLE FOR RERUNNING FULL LENGTH OF WIRE IF RUN LENGTH IS MISCALCULATED.
- SPECIAL INSPECTION IS REQUIRED FOR ALL POST-INSTALLED CONCRETE ANCHORS

SCOPE OF WORK

UTILITY	WISCONSIN PUBLIC SERVICE CORP		
CATEGORY	ITEMS	TESLA	UTILITY
PRIMARY	PRIMARY TRENCHING	X	
	INSTALL PRIMARY CONDUIT	X	
	INSTALL PULL ROPE		
	INSTALL PRIMARY FEEDERS		X
	PROVIDE PRIMARY FEEDERS		X
	PROVIDE ROAD CUTS / ROAD BORES	X	
TRANSFORMER	PAVEMENT REPLACEMENT	X	
	INSTALL TRANSFORMER PAD	X	
	PROVIDE TRANSFORMER		X
	INSTALL TRANSFORMER		X
SWITCHBOARD	INSTALL CONNECTIONS - PRIMARY		X
	INSTALL CONNECTIONS - SECD		X
	PROVIDE METER		X
	INSTALL METER		X
	LAND SECONDARY FEEDERS	X	
	SECONDARY TRENCHING	X	
	INSTALL SECONDARY CONDUIT	X	
SECONDARY	INSTALL PULL ROPE	X	
	INSTALL SECONDARY FEEDERS		X
	PROVIDE SECONDARY FEEDERS		X
	PROVIDE ROAD CUTS / ROAD BORES	X	
	PAVEMENT REPLACEMENT	X	

SITE LEGEND

	SITE BENCHMARK
	SANITARY MANHOLE
	LIGHT POLE
	ELECTRIC METER
	ELECTRIC CABINET
	UTILITY POLE
	TELEPHONE PEDESTAL
	GAS METER
	MANHOLE
	CONIFEROUS TREE
	DECIDUOUS TREE
	LANDSCAPED AREA
	SIGN
	STORM LINE (UNDERGROUND)
	SANITARY LINE (UNDERGROUND)
	GAS LINE (UNDERGROUND)
	ELECTRIC LINE (UNDERGROUND)
	FIBEROPTIC LINE (UNDERGROUND)
	TELEPHONE LINE (UNDERGROUND)
	CABLE TV LINE (UNDERGROUND)
	TREE LINE
	CONCRETE AREA

SITE LEGEND

	SITE BENCHMARK
	SANITARY MANHOLE
	LIGHT POLE
	ELECTRIC METER
	ELECTRIC CABINET
	UTILITY POLE
	TELEPHONE PEDESTAL
	GAS METER
	MANHOLE
	CONIFEROUS TREE
	DECIDUOUS TREE
	LANDSCAPED AREA
	SIGN
	STORM LINE (UNDERGROUND)
	SANITARY LINE (UNDERGROUND)
	GAS LINE (UNDERGROUND)
	ELECTRIC LINE (UNDERGROUND)
	FIBEROPTIC LINE (UNDERGROUND)
	TELEPHONE LINE (UNDERGROUND)
	CABLE TV LINE (UNDERGROUND)
	TREE LINE
	CONCRETE AREA

TESLA

3500 DEER CREEK RD.  
PALO ALTO, CA 94304  
(650) 681-3000

ORIGINAL SIZE 24"X36"  
SHEET SIZE ARCH "D"

WISCONSIN PROFESSIONAL ENGINEER

WILLIAM K. LOU  
E-48465-6  
PALO ALTO  
CALIFORNIA  
EXP 7/31/22

William K Lou  
Digitally signed by William K Lou  
Date: 2021.08.13 08:59:54 -0700

TESLA SUPERCHARGERS  
8707 BLUMENSTEIN RD  
MINOCQUA, WI 54548

TESLA SUPERCHARGER\_MINOCQUA, WI  
TESLA SUPERCHARGER\_MINOCQUA, WI

NO.	REVISION	DATE
A	AHJ COMMENTS	08/09/21

NOTES

G-002

JB-545079-00

REV: A IFP



TESLA

3500 DEER CREEK RD.  
PALO ALTO, CA 94304  
(650) 991-5000

ORIGINAL SIZE 24"x36"  
SHEET SIZE ARCH "D"

WISCONSIN PROFESSIONAL ENGINEER  
WILLIAM K. LOU  
E-48465-6  
PALO ALTO, CALIFORNIA  
EXP 7/31/22

Seal Expires on  
William K. Lou  
Date: 2021.08.13  
082944-0700

TESLA SUPERCHARGERS  
8707 BLUMENSTEIN RD  
MINOCQUA, WI 54548

NO.	REVISION	DATE
A	AHJ COMMENTS	08/09/21

DEMO PLAN
G-101
JB-545079-00
REV: A    IFP

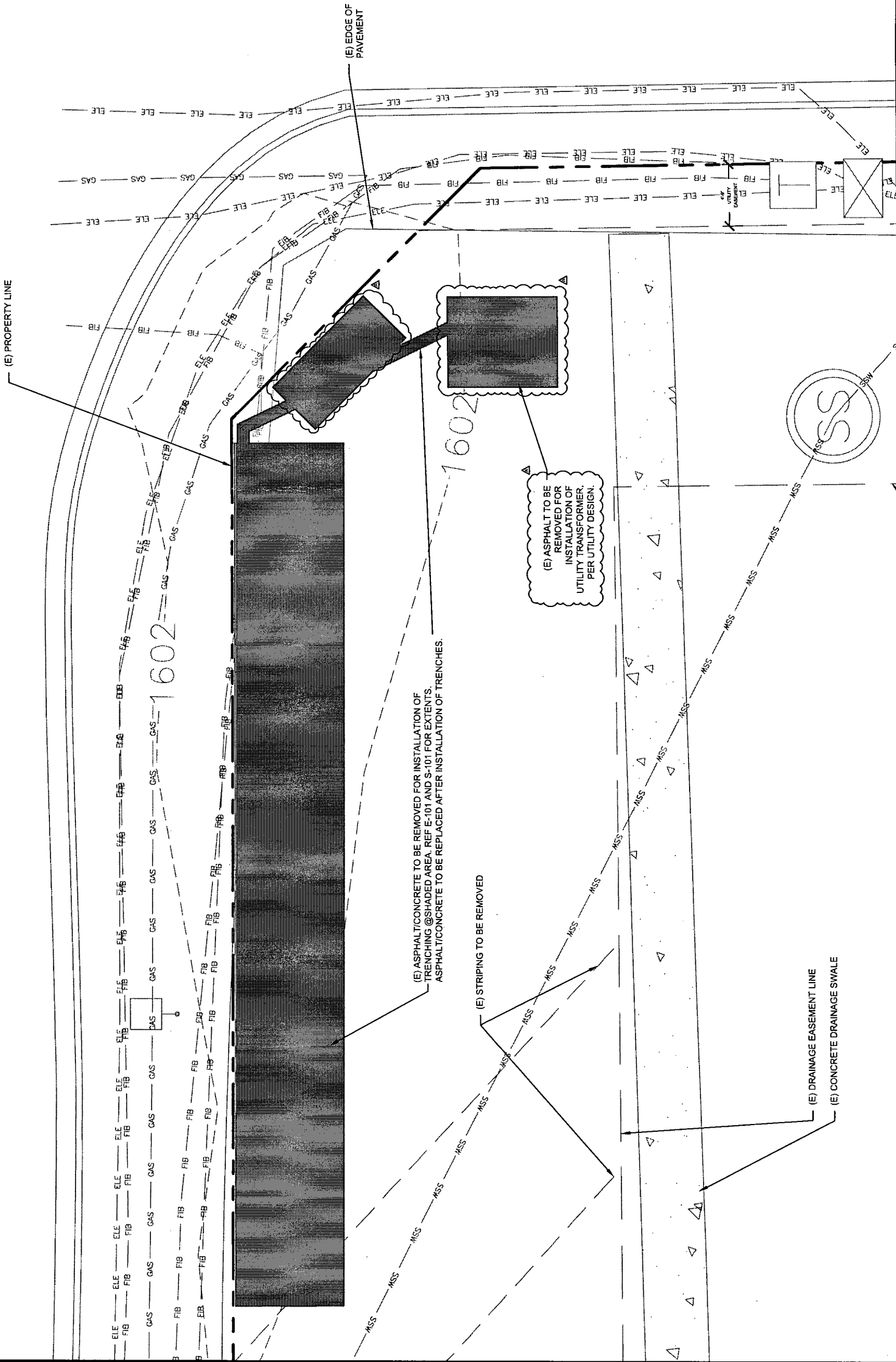
NOTES

THE CONTRACTOR SHALL REFER TO THE TRENCHING DETAILS ON THE ELECTRICAL DETAILS SHEET.

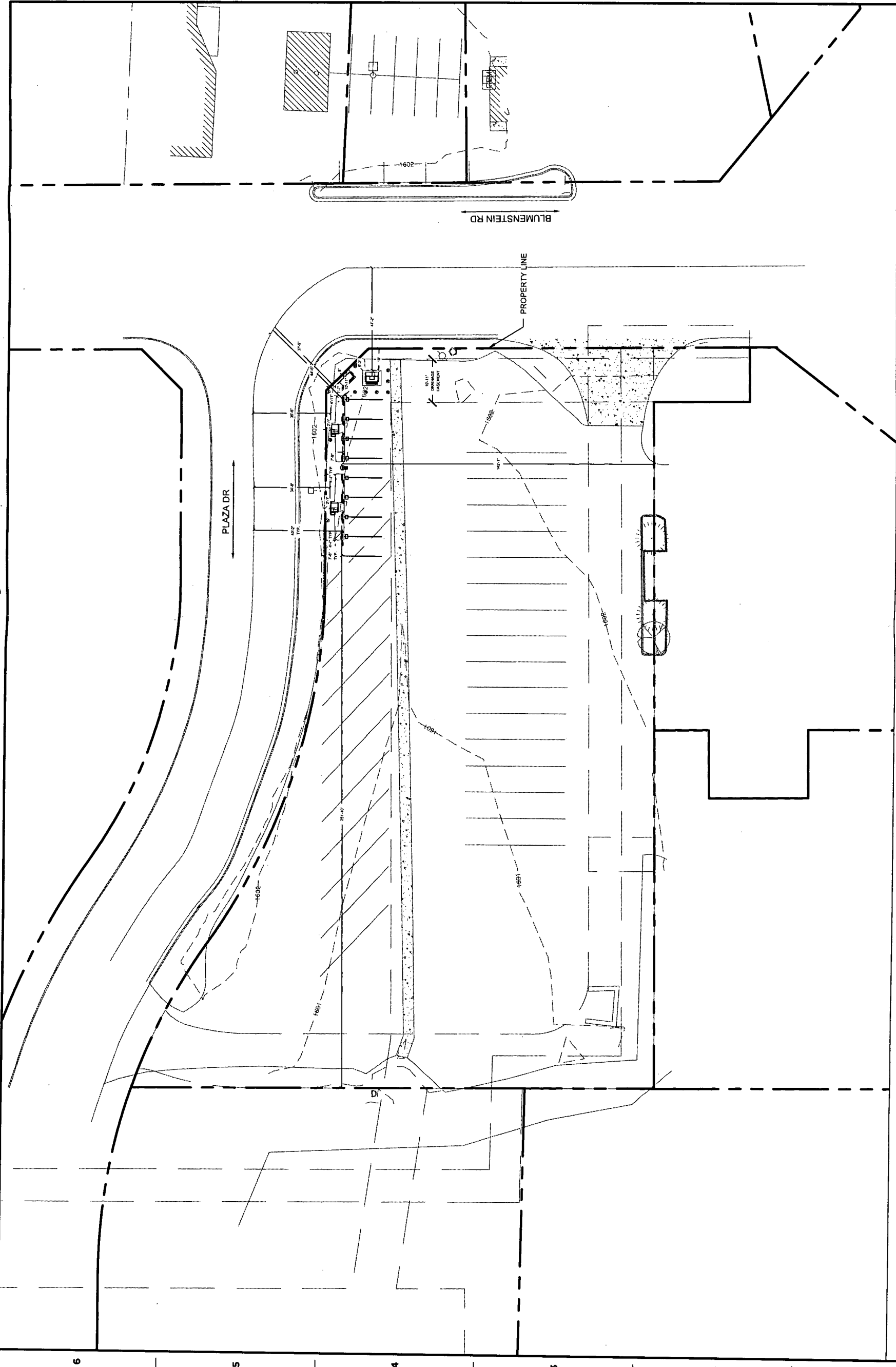
THE LIMITS OF ASPHALT REMOVAL ARE SHOWN AS FOR INFORMATION ONLY AND IT SHALL BE UP TO THE CONTRACTOR TO DETERMINE THE EXACT LIMITS.

SITE LEGEND

- X ANY (E) OBJECT TO BE DEMOLISHED
- - - ANY (E) ELEMENT TO BE REMOVED
- HARDCAPED AREA TO BE MODIFIED
- (E) PROPERTY LINE



DEMOLITION PLAN  
1/4" = 1'-0"



TESLA

3500 DEER CREEK RD.  
PALO ALTO, CA 94304  
(650) 881-5000

ORIGINAL SIZE 24"X36"  
SHEET SIZE ARCH "D"

WILLIAM K. LOU  
E-48465-6  
PALO ALTO  
CALIFORNIA  
EXP 7/31/22

WILLIAM K. LOU  
E-48465-6  
PALO ALTO  
CALIFORNIA  
EXP 7/31/22

William K. Lou  
Digitally signed by William K. Lou  
Date: 2021.08.13 08:42:28 -0700

TESLA SUPERCHARGER  
8 SUPERCHARGERS  
TESLA SUPERCHARGER\_MINOCQUA, WI  
8707 BLUMENSTEIN RD  
MINOCQUA, WI 54548

NO.	REVISION	DATE
A	AHJ COMMENTS	08/09/21

SITE PLAN	
E-101	
JB-545079-00	
REV: A	IFP

SITE LEGEND

(N) CONDUIT ROUTE,  
SHOWN FOR  
DIAGRAMMATIC  
PURPOSES ONLY.

(N) REMOVABLE BOLLARD

(N) POLE-MOUNTED LIGHT  
FIXTURE

(N) WIREWAY ROUTE,  
SHOWN FOR  
DIAGRAMMATIC  
PURPOSES ONLY.

(N) SUPERCHARGER POST

(N) BOLLARD SIGN

(N) REBOUNDING  
BOLLARD W/ SIGNPOST

(N) REBOUNDING  
BOLLARD

PARKING STALL SCHEDULE

EXISTING STANDARD STALLS  
UTILIZED AS A RESULT OF THIS  
PROJECT

PROPOSED TESLA STALLS

PROPOSED STANDARD STALLS

NET STALL COUNT

2
8
0
+6

CHARGING STALLS SCHEDULE

SUPERCHARGER  
CABINET

POST

SIGN TYPE

1	1A	DEDICATED
	1B	DEDICATED
	1C	DEDICATED
	1D	DEDICATED
	2A	DEDICATED
	2B	DEDICATED
	2C	DEDICATED
	2D	DEDICATED

PARKING SIGNS, REF A/A501

MINIMUM SERVICE  
CLEARANCES

CHARGE POST

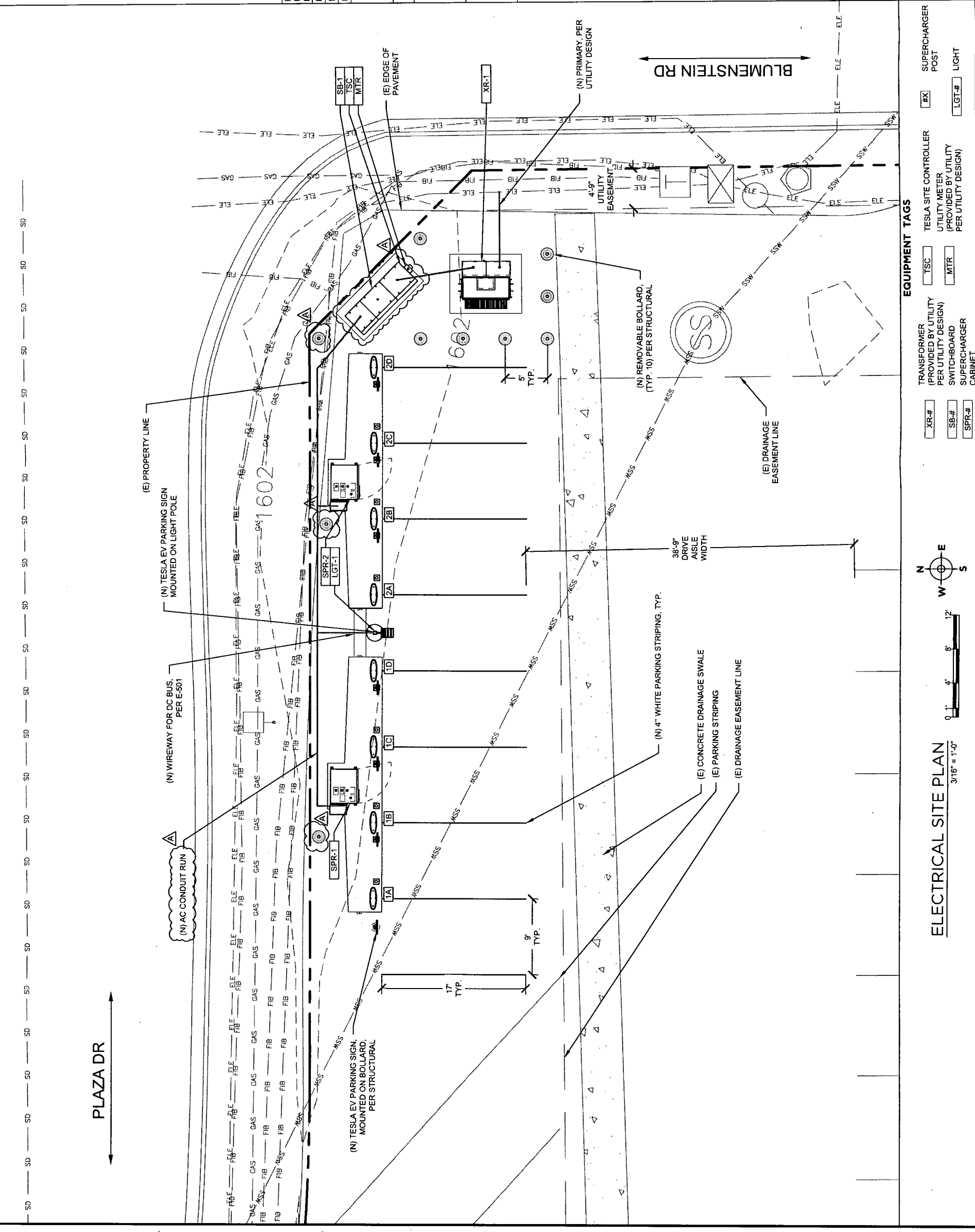
SUPERCHARGER  
CABINET

TRANSFORMER  
FROM PAD EDGE: 8' ON  
LEFT SIDE, 3' ON RIGHT  
SIDE, 3' BEHIND AND 10'  
FROM FRONT (VERIFY  
WITH UTILITY  
STANDARDS)

- NOTES:
1. UTILITY EQUIPMENT/FOUNDATION  
DIMENSIONS AND LOCATIONS PER  
UTILITY. CONTRACTOR TO VERIFY  
AGAINST EXECUTED UTILITY DESIGN.

2. UTILITY BOLLARDS PER UTILITY  
REQUIREMENTS. CONTRACTOR TO  
VERIFY AND COORDINATE WITH UTILITY  
ON LOCATION, QUANTITY, AND SPECS.

3. CONTRACTOR TO REFER TO EXECUTED  
UTILITY DESIGN FOR PRIMARY AND  
POINT OF CONNECTION DETAILS.





TESLA

3500 DEERS CREEK RD,  
PALO ALTO, CA 94304  
(650) 881-5000

ORIGINAL SIZE 24"x36"  
SHEET SIZE ARCH "D"

WILLIAM K. LOU  
E-48465-6  
PALO ALTO  
CALIFORNIA  
EXP 7/3/22

PROFESSIONAL ENGINEER  
WISCONSIN

Digitally signed by  
William K Lou  
Date: 2023.08.13  
08:42:03 -0700

William K Lou

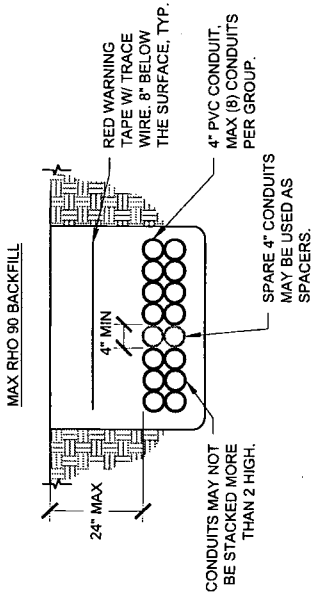
TESLA SUPERCHARGERS  
8 SUPERCHARGERS  
TESLA SUPERCHARGER\_MINOCQUA, WI  
8707 BLUMENSTEIN RD  
MINOCQUA, WI 54548

NO.	REVISION	AHJ COMMENTS	DATE
A			08/09/21

ELECTRICAL DETAILS	
E-501	
JB-545079-00	
REV: A	IFP

TRENCHING NOTES

- THE TRENCH DESIGNS ARE THE RESULT OF A THERMAL ANALYSIS OF THE CONDUCTORS UNDER LOAD. FOR PROPER PROTECTION THEY MUST BE FOLLOWED.
- APPROVED BACKFILL IS REQUIRED TO MEET THE DESIGNED RHO VALUES. USE THE SPECIFIED BACKFILL LISTED BELOW OR TEST NATIVE SOIL CONDITIONS TO CONFIRM MAX DEFINED RHO VALUES.
- RHO 60 BACKFILL** - HIGH STRENGTH FLUIDIZED THERMAL (SLURRY) BACKFILL WITH MIN 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI MUST BE USED TO ACHIEVE MAX RHO 60.
- RHO 90 BACKFILL** - LOW STRENGTH FLUIDIZED THERMAL (SLURRY) BACKFILL WITH MIN 28 DAY COMPRESSIVE STRENGTH OF 150 PSI MUST BE USED TO ACHIEVE MAX RHO 90
- FOR TRENCHES WITH MIXED CIRCUIT TYPES, APPLY THE CONDUIT SPACING FOR THE CIRCUIT TYPE WITH THE LARGER SPACING REQUIREMENT
- CONDUIT TO BE INSTALLED TO A MAX COVER OF 24" COVER MAY BE REDUCED PER THE NEC TABLE 300.5.



"AC-PSU" CIRCUIT TRENCH - MAX RHO 90

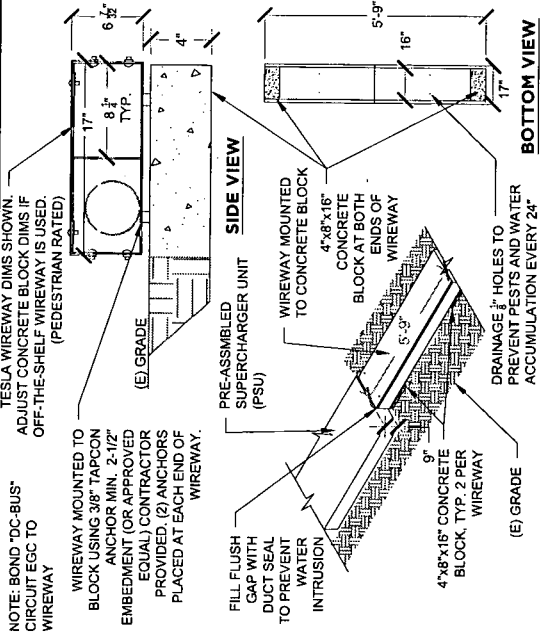
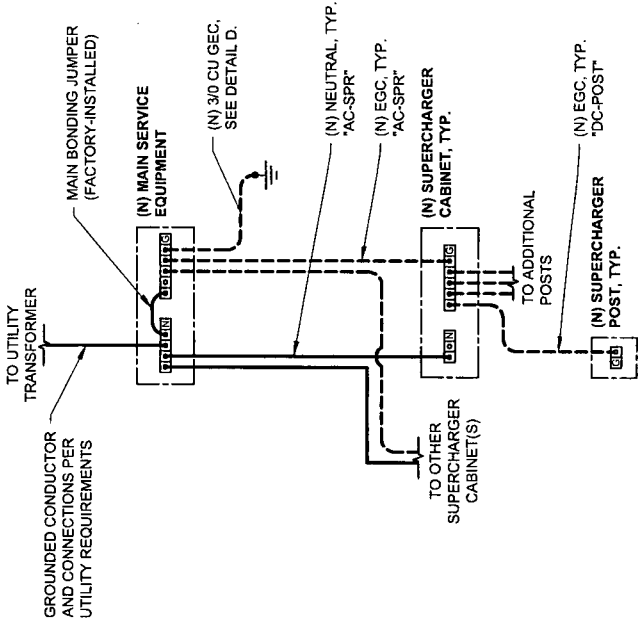
NTS

NOTES

- REFER TO ONE-LINE DIAGRAM FOR SPECIFIC CIRCUIT IDENTIFIERS BETWEEN EQUIPMENT.
- REFER TO AC & DC CIRCUIT SCHEDULES FOR NEUTRAL/GROUND SIZING PER CIRCUIT.

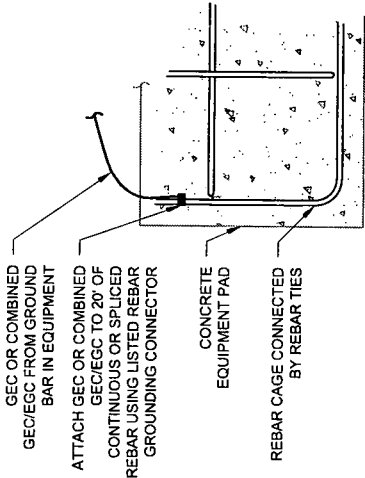
LEGEND

- NEUTRAL BUSBAR
- GROUND BUSBAR
- PRIMARY OR SECONDARY COMMON TERMINAL, AS APPLICABLE
- TERMINAL ON NEUTRAL OR GROUND BUSBAR
- IRREVERSIBLE SPLICE OR CRIMP PER NEC 250.64(C)
- NEC 250.52(A)-COMPLIANT GROUNDING ELECTRODE



DC-BUS WIREWAY MOUNTING DETAIL

NTS








CONCRETE-ENCASED ELECTRODE

NTS

GROUNDING DIAGRAM

EST. 100 GROUNDING DIAGRAM NOTES 04

## SITE LEGEND

- |   |                                       |
|---|---------------------------------------|
|  | (N) SUPERCHARGER POST                 |
|  | (N) BOLLARD SIGN                      |
|  | (N) REBOUNDING<br>BOLLARD W/ SIGNPOST |
|  | (N) REBOUNDING<br>BOLLARD             |
|  | (N) POLE-MOUNTED LIGHT<br>FIXTURE     |

STRUCTURAL  
DESIGN CRITERIA:

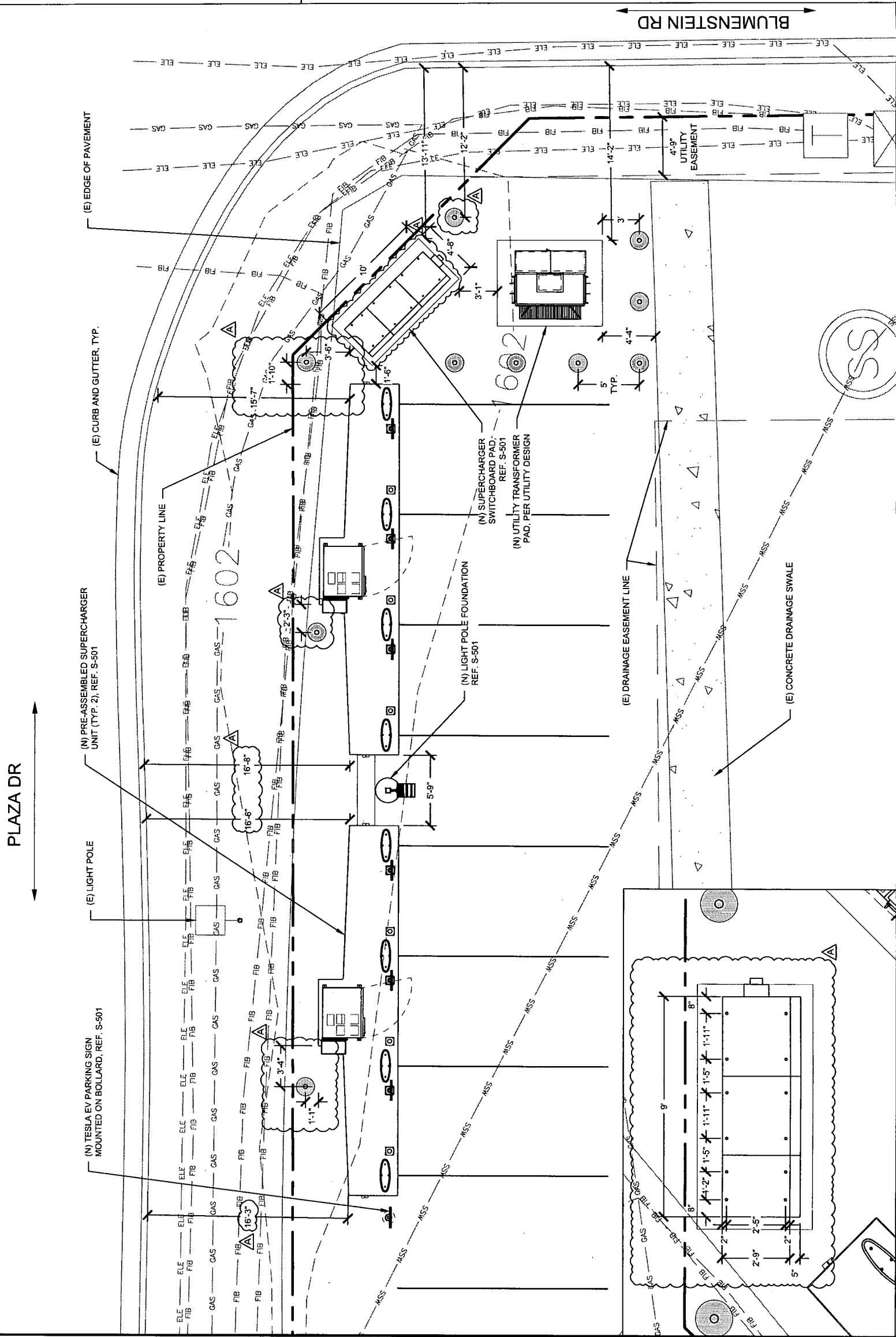
DESIGN CODE:  
WISCONSIN COMMERCIAL BUILDING CODE

DESIGN CRITERIA:

1. WIND DESIGN
  - DESIGN WIND SPEED = 115 MPH (ULTIMATE)
  - RISK CATEGORY = II
  - WIND EXPOSURE = C
2. SEISMIC DESIGN
  - SITE CLASS = D
  - $S_s = 0.043 / S_1 = 0.023$
  - $S_{ds} = 0.046 / S_1 = 0.036$
  - SEISMIC DESIGN CATEGORY = A
  - BASIC SEISMIC-FORCE-RESISTING SYSTEM = NON-STRUCTURAL COMPONENT
  - $R = 2.5 / a_p = 1.0$

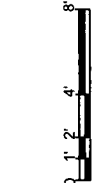
## NOTES:

1. PAD EXTENTS AND FOOTING TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.
2. SWITCHBOARD DIMENSIONS AND ANCHOR LOCATIONS ARE LIABLE TO CHANGE. CONTRACTOR TO VERIFY AGAINST VENDOR FINAL SHOP DRAWINGS.
3. UTILITY EQUIPMENT FOUNDATION DIMENSIONS AND LOCATIONS PER UTILITY. CONTRACTOR TO VERIFY AGAINST EXECUTED UTILITY DESIGN.
4. UTILITY BOLLARDS PER UTILITY REQUIREMENTS. CONTRACTOR TO VERIFY AND COORDINATE WITH UTILITY ON LOCATION, QUANTITY, AND SPECS.



### ENLARGED SWITCHBOARD AREA

# STRUCTURAL SITE PLAN



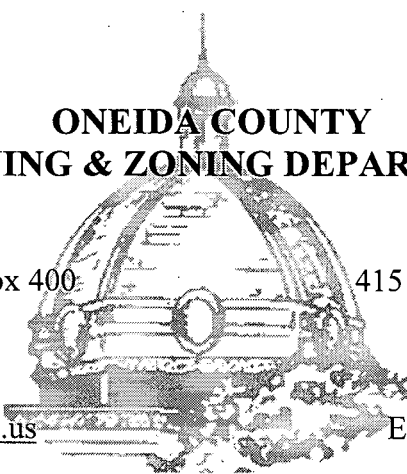








**ONEIDA COUNTY  
PLANNING & ZONING DEPARTMENT**



**Courthouse Building**  
1 South Oneida Avenue, P.O. Box 400  
Rhinelander, WI 54501  
Phone: (715)369-6130  
Fax: (715)369-6268  
Email: [zoning@co.oneida.wi.us](mailto:zoning@co.oneida.wi.us)

**Minocqua Branch Office**  
415 Menominee Street, P.O. Box 624  
Minocqua, WI 54548  
Phone: (715)369-6130  
Email: [zoning@co.oneida.wi.us](mailto:zoning@co.oneida.wi.us)

December 9, 2021

Ms. Roben Haggart, Clerk  
Town of Minocqua  
415 Menominee Street, Suite 300  
Minocqua, WI 54548

Re: Administrative Review Permit application by Meron Demissie/Tesla, applicant, TA Solberg Co. Inc., owner.

Dear Ms. Haggart,

Enclosed please find a copy of the Administrative Review Permit for the project described below. Please have the Minocqua Planning Commission review and advise what objections they may have.

Administrative Review Permit application by Meron Demissie/Tesla, applicant, TA Solberg Co. Inc., owner, to construct and operate an eight (8) stall Tesla Supercharger on the following described property; Part of the NW NE & SW NE, Lot 8 of CSM 3658, Section 10, T39N, R6E, PIN# MI 2155-1, 8707 Blumenstein Rd., Town of Minocqua.

Respectfully,

Carla Blankenship  
Land Use Specialist

Enclosure

*"The Island City"*

## TOWN OF MINOCQUA

MARK P. HARTZHEIM, Chairman  
JOHN L. THOMPSON, Supervisor  
SUSAN M. HEIL, Supervisor  
BRIAN L. FRICKE, Supervisor  
WILLIAM R. STENGL, Supervisor

415 Menominee Street, Suite 300  
Minocqua, Wisconsin 54548  
Phone: 715.356.5296  
Fax: 715.356.1132  
[www.townofminocqua.org](http://www.townofminocqua.org)

ROBEN A. HAGGART, Clerk  
KIM STRASBURG, Treasurer  
MARK A. PERTILE, Dir. of Public Works  
DAVID J. JAEGER, Chief of Police  
LUKE E. TAYLOR, Fire Chief

January 3, 2022

Oneida County Planning & Zoning  
Minocqua Office  
P.O. Box 624  
Minocqua, WI 54548

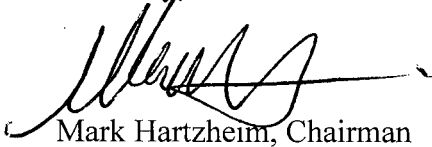
To Whom It May Concern:

**ADMINISTRATIVE REVIEW PERMIT #47-21:** Administrative Review Permit application by Meron Demissie/Tesla, applicant, TA Solberg Co. Inc., owner, to construct and operate an eight (8) stall Tesla Supercharger on the following described property; Part of the NW NE & SW NE, Lot 8 of CSM 3658, Section 10, T39N, R6E, PIN# MI-2155-1, 8707 Blumenstein Rd., Town of Minocqua.

The Minocqua Plan Commission recommends approval of Administrative Review Permit #47-21 as presented, subject to meeting County requirements and conditions.

If I can be of further assistance, please feel free to contact me.

Sincerely,



Mark Hartzheim, Chairman  
Town of Minocqua

MPH/lww

RECEIVED  
MINOCQUA OFFICE

JAN 03 2022

ONEIDA COUNTY  
PLANNING & ZONING



**ONEIDA COUNTY  
PLANNING & ZONING DEPARTMENT**

**Courthouse Building**

1 South Oneida Avenue, P.O. Box 400

Rhineland, WI 54501

Phone: (715)369-6130

Fax: (715)369-6268

Email: [zoning@co.oneida.wi.us](mailto:zoning@co.oneida.wi.us)

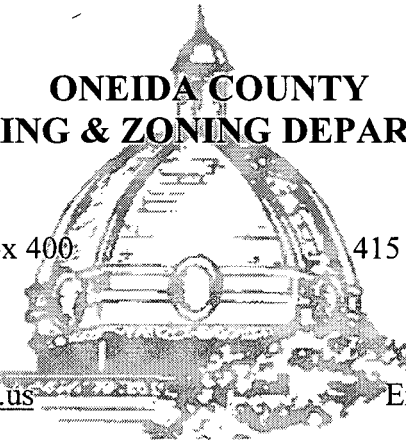
**Minocqua Branch Office**

415 Menominee Street, P.O. Box 624

Minocqua, WI 54548

Phone: (715)369-6130

Email: [zoning@co.oneida.wi.us](mailto:zoning@co.oneida.wi.us)



January 4, 2022

Ms. Meron Demissie  
3500 Deer Creek Rd.  
Palo Alto, CA 94304

Re: **Administrative Review Permit #2200003** is hereby granted to Meron Demissie/Tesla, applicant, TA Solberg Co. Inc., owner, to construct and operate an eight (8) stall Tesla Supercharger on the following described property; Part of the NW NE & SW NE, Lot 8 of CSM 3658, Section 10, T39N, R6E, PIN# MI 2155-1, 8707 Blumenstein Rd., Town of Minocqua.

Ms. Demissie,

An Administrative Review Permit is hereby issued for the project listed above contingent on the following conditions:

1. The project is commenced within two (2) years for date of issuance.
2. Nature and extent of the administrative review permit shall not change from that described and approved herein.
3. Signage to conform to Section 9.78 Sign Regulations of the Oneida County Zoning & Shoreland Protection Ordinance.
4. Parking to conform to 9.77 Off Street Parking and Loading Space of the Oneida County Zoning & Shoreland Protection Ordinance.
5. If exterior lighting is installed, it must be downcast and shielded from above.
6. Future tenants to apply for ARP/CUP as needed prior to occupancy.
7. Proper permits to be obtained prior to the start of construction (Town/County/State).
8. Subject to Oneida County Board of Adjustments Decision Case No. 21-006

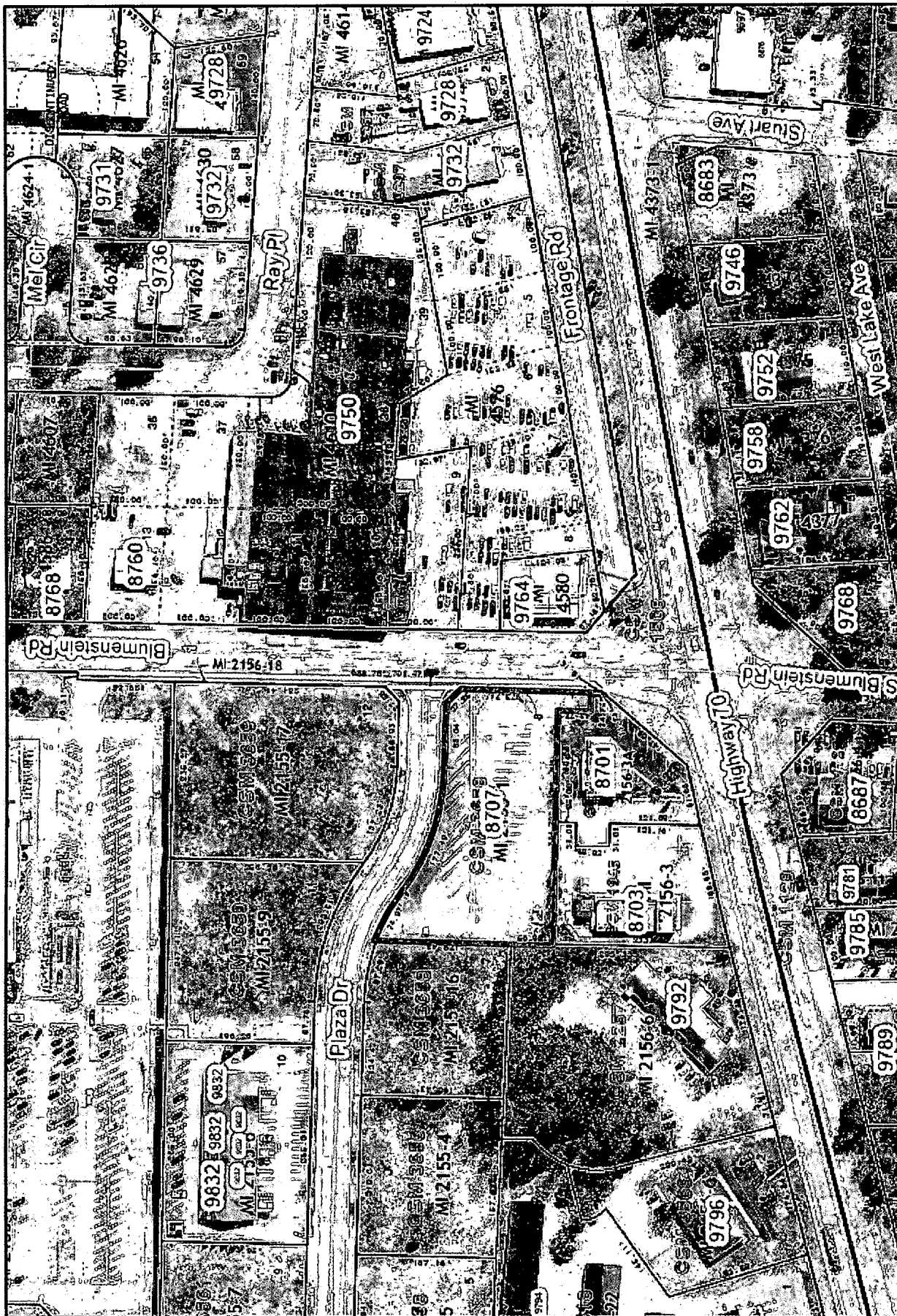
Failure to comply with all of these conditions will invalidate this approval.

If you feel you have been aggrieved by the above conditions of approval, you may appeal this to the Oneida County Board of Adjustment. The deadline to appeal is 30 days from the date of this letter. Please contact this Department for the necessary paperwork. The fee to appeal is \$750.00.

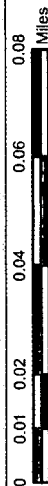
Respectfully,

Carla Blankenship  
Land Use Specialist

cc: Town of Minocqua  
TA Solberg Co. Inc, owner



- this is not a survey map  
**Oneida County, Wisconsin**



This map is courtesy of the Oneida County Land Information office and is a general sketch of areas in Oneida County. It should not be used to represent surveys of property. See original source documents for more information.





- this is not a survey map

# Oneida County, Wisconsin

This map is courtesy of the Oneida County Land Information office and is a general sketch of areas in Oneida County. It should not be used to represent surveys of property. See original source documents for more information.



☐ CONDITIONAL USE ☒ ADMINISTRATIVE REVIEW CHECKLIST

Owner: <u>TA Solberg Co. Inc.</u>	Applicant: <u>Nelson Demissie</u>
Legal Description: <u>PT NW, NE LOT 8 CSM 3658</u> <u>SEC 10, T39N, R6E</u>	PIN: <u>MI 2155-1</u> Zoning District: _____
Registered Survey: <u># 3658</u>	Site Address: <u>8707 Blumenstein Rd.</u>
Density Requirements: <u>20,000 sq ft.</u>	Lot size Sq Ft: <u>1.38 acres</u>
	Septic System: <u>N/A</u> Sizing: <u>N/A</u>
	POWTS Evaluation Required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

<b>Preliminary Review:</b>	
<ul style="list-style-type: none"> <li><input type="checkbox"/> Zoning District <u>07</u></li> <li><input type="checkbox"/> Adjacent Zoning District <u>07</u></li> <li><input type="checkbox"/> Federal Permits</li> <li><input type="checkbox"/> WDNR Permits</li> <li><input type="checkbox"/> County Permits <u>(ZP)</u> or SAP</li> <li><input type="checkbox"/> UDC/ State Plan Approval <u>AS REQUIRED</u></li> <li><input type="checkbox"/> After The Fact</li> </ul>	<ul style="list-style-type: none"> <li><input type="checkbox"/> Waterbody <u>No</u></li> <li><input type="checkbox"/> Floodplain <u>None 090C</u></li> <li><input type="checkbox"/> Wetlands <u>No</u></li> <li><input type="checkbox"/> Erosion Control Plan</li> <li><input type="checkbox"/> Stormwater Management Plan</li> <li><input type="checkbox"/> <u>Conforming</u>/ Non-Conforming</li> <li><input type="checkbox"/> Licensing Requirements (State/Fed)</li> </ul>

<b>General Information:</b>	
<ul style="list-style-type: none"> <li><input type="checkbox"/> Type of business <u>Tesla Charging Station</u> (service, manufacturing, retail) <ul style="list-style-type: none"> <li><input type="checkbox"/> New</li> <li><input type="checkbox"/> Existing</li> <li><input type="checkbox"/> Expansion of existing</li> </ul> </li> <li><input type="checkbox"/> Structures <ul style="list-style-type: none"> <li><input type="checkbox"/> New <u>Charging structures</u></li> <li><input type="checkbox"/> Existing</li> <li><input type="checkbox"/> # of units <u>8 stations/stalls</u></li> </ul> </li> <li><input type="checkbox"/> Height</li> </ul>	<ul style="list-style-type: none"> <li><input type="checkbox"/> # of employees <u>0</u> x 1.1 = _____</li> <li><input type="checkbox"/> customers/occupancy <u>8 vehicles</u></li> <li><input type="checkbox"/> # of seats _____</li> <li><input type="checkbox"/> retail floor space _____ / 220 = _____</li> <li><input type="checkbox"/> parking spaces available _____</li> <li><input type="checkbox"/> parking spaces required _____</li> <li><input type="checkbox"/> deliveries per day/week _____</li> <li><input type="checkbox"/> hours of operation _____</li> <li><input type="checkbox"/> location of equipment/garbage _____</li> <li><input type="checkbox"/> outdoor activities _____</li> </ul>

<b>TOWN INFORMATION:</b> Town letter sent: <u>12/9/21</u>	Town reply received: <u>1/3/22</u>
Town Concerns: <u>None. see letter dated 1/3/22</u>	
Agenda Date: <u>1/2</u>	Approval Date: <u>1/4/22</u>
Access Approval – State (WDOT); County, Town: _____	
Sanitary District Approval: _____	

Other Concerns: <u>currently 27 large vehicle/trailer parking spaces for Trng's overflow.</u> <u>Proposed 25 large vehicle/trailer spaces and 8 Tesla Charging stalls/stations.</u> <u>BOA CASE NO. 21-006</u>
---

Reviewer by: <u>CB</u>	Date Received: <u>12/</u>	Amount \$ <u>250.00</u>	Receipt # <u>219747</u>
------------------------	---------------------------	-------------------------	-------------------------