

KUM & GO #0308
7450 FEDERAL BLVD.
WESTMINSTER, CO 80030

KUM & GO #0308
7450 FEDERAL BLVD.
WESTMINSTER, CO 80030

Project No:	TES000014
Drawn By:	RDG
Checked By:	ACJ
Date:	6/18/21

COVER SHEET

C0.0

GENERAL CONSTRUCTION NOTES

1. REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REP. PRIOR TO BID.
2. NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
3. CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL REQUIRED FOR FINAL CHECKOUT OF ALL FACILITIES BY OWNER'S REPRESENTATIVE.
4. ENTIRE INSTALLATION SHALL MEET ALL APPLICABLE CODES AND REGULATIONS.
5. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND SAFETY OF THE WORK AREA. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION
7. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATING CORNERS BY A REGISTERED SURVEYOR.
8. GENERAL CONTRACTOR SHALL RECEIVE, UNLOAD, STORE AND UNCRATE ALL EQUIPMENT FURNISHED BY THE OWNER AND SHIPPED TO THE SITE.
9. GENERAL CONTRACTOR TO REFER TO STANDARD DETAILS INCLUDED FOR INSTALLING EQUIPMENT, INCLUDING CHARGE POSTS AND CABINETS.
10. CONTRACTOR SHALL RE-STRIP AND APPLY SEAL COATING TO ALL PARKING SPACES, UNLESS OTHERWISE SPECIFIED.
11. LANDSCAPING AND IRRIGATION SYSTEM BY GENERAL CONTRACTOR.
12. GENERAL CONTRACTOR TO PERFORM SITE CLEAN-UP AT COMPLETION OF WORK.
13. SEE THE SITE SURVEY FOR SURVEY INFORMATION & LEGAL DESCRIPTION .
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE CITY/TOWN, ITS AGENTS, OR THE OWNER'S REPRESENTATIVE AT ALL TIMES. DIMENSIONS SHALL BE ANNOTATED ON AS-BUILT RECORD DRAWINGS. AS-BUILT DRAWINGS ARE REQUIRED PRIOR TO ISSUANCE OF FINAL PAYMENT. AS BUILT DRAWINGS WILL BE SUPPLIED TO OWNER AND CITY/TOWN PRIOR TO FINAL PAYMENT.

EROSION CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL APPLICABLE STORM WATER PERMITS ARE OBTAINED BEFORE CONSTRUCTION BEGINS.
2. THE CONTRACTOR SHALL REMOVE ALL SEDIMENT, MUD, AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE FLOWLINES AND PUBLIC RIGHTS OF WAYS AS A RESULT OF THIS SITE DEVELOPMENT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
3. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT
4. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC. RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
5. THE CONTRACTOR SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHT OF WAYS.
6. SOILS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE MULCHED AND SEEDED WITH A TEMPORARY OR PERMANENT GRASS COVER WITHIN 14 DAYS OF STOCKPILE CONSTRUCTION. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGE WAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT, FENCE SHALL BE REQUIRED.
7. APPROVED EROSION AND SEDIMENT CONTROL "BEST MANAGEMENT PRACTICES" SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT. AT A MINIMUM, THE CONTRACTOR SHALL INSPECT ALL BMPs WEEKLY AND AFTER SIGNIFICANT PRECIPITATION EVENTS. ALL NECESSARY MAINTENANCE AND REPAIR SHALL BE COMPLETED IN A TIMELY MANNER. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A BMP WHEN THE SEDIMENT LEVEL REACHES ONE HALF THE HEIGHT OF THE BMP OR, AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE BMP.
8. THE CONTRACTOR SHALL PROTECT ALL STORM SEWER FACILITIES ADJACENT TO ANY LOCATION WHERE PAVEMENT CUTTING OPERATIONS INVOLVING WHEEL CUTTING, SAW CUTTING OR ABRASIVE WATER JET CUTTING ARE TO TAKE PLACE. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL WASTE PRODUCTS GENERATED BY SAID CUTTING OPERATIONS ON A DAILY BASIS. THE DISCHARGE OF ANY WATER CONTAMINATED BY WASTE PRODUCTS FROM CUTTING OPERATIONS TO THE STORM SEWER SYSTEM IS PROHIBITED.
9. STRUCTURAL EROSION CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE.

CONCRETE NOTES

1. CONTRACTOR SHALL FURNISH ALL MATERIAL UNLESS NOTED OTHERWISE.
2. CONCRETE FLATWORK TO BE 4000 PSI COMPRESSIVE STRENGTH W/REINFORCING NOTED ON DETAILS. FOOTINGS AND FOUNDATIONS TO BE 3000 PSI COMPRESSIVE STRENGTH U.N.O.
3. BAR REINFORCEMENT SHALL CONFORM TO ASTM A-615 GRADE 60
4. WIRE MESH REINFORCEMENT SHALL CONFORM TO ASTM-185
5. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI-318, LATEST EDITION.
6. SUPPORT AND ANCHORAGE OF THE REINFORCEMENT IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL CONFORM TO ACI-318, LATEST EDITION.
7. ALL CONCRETE PAVEMENT AND CONSTRUCTION SHALL MEET KUM & GO STANDARD SPECIFICATIONS. CONCRETE PAVEMENT SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI, TYPE III PORTLAND CEMENT (UNLESS OTHERWISE SPECIFIED IN THE GEOTECHNICAL REPORT FOR HIGHER SULFATE RESISTANCE), A SLUMP OF 4 INCHES +/- 1 INCH, AND AN AIR CONTENT OF 6% +/- 1%.
8. ALL EXPOSED EDGES SHALL BE TOOLED.
9. CONCRETE SAWCUTS MUST BE MADE AS SOON AS CONCRETE SETS. IN NO CASE NO MORE THAN 24 HOURS OF PLACEMENT.
10. EXCEPT AS DETAILED OR AUTHORIZED, MAKE REINFORCEMENT CONTINUOUS AROUND CORNERS.
11. THE PROPOSED PRE-CAST FOUNDATION AND ANCHORAGE IS DESIGNED AND SUPPLIED BY TESLA.

DEMOLITION NOTES

1. ALL DEMOLITION TO BE IN ACCORDANCE WITH STATE, LOCAL, AND FEDERAL REQUIREMENTS.
2. CONTRACTOR TO VERIFY ALL UTILITY SERVICE LOCATIONS AND EXISTING SITE CONDITIONS PRIOR TO PROCEEDING. ANY SITE CONDITIONS THAT ARE NOT AS SHOWN MUST BE REPORTED TO THE COMPANY REPRESENTATIVE PRIOR TO BID.
3. CONTRACTOR TO REMOVE OR RELOCATE EXISTING UTILITIES PER UTILITY COMPANY REQUIREMENTS.
4. CONTRACTOR TO ERECT BARRIERS, FENCES, GUARDRAILS, ENCLOSURES, ETC. TO PROTECT SITE. THE PROTECTION PLAN MUST BE REVIEWED BY THE COMPANY REPRESENTATIVE & OWNER PRIOR TO PROCEEDING.
5. COMPANY REPRESENTATIVE WILL DETERMINE WHEN CONDITIONS ARE SUITABLE TO COMMENCE WORK. CONTRACTOR TO VERIFY AREAS TO BE DEMOLISHED ARE UNOCCUPIED AND NOT IN USE.
6. DISPOSE OF AND TRANSPORT DEBRIS TO AREA OBTAINED BY CONTRACTOR. DO NOT STORE OR BURN MATERIALS ON SITE.
7. REMOVE CURB & GUTTER, ASPHALT, TREES, PAVEMENT MARKINGS, AND OTHER IMPROVEMENTS AS SPECIFIED ON THE SITE PLAN.
8. FILL AND COMPACT BASEMENTS, CESSPOOLS, AND OTHER LARGE EXCAVATED AREAS WITH CLEAN FILL SUITABLE TO THE COMPANY REPRESENTATIVE AND IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. GRADE TO MATCH EXISTING OR PROPOSED FINISH GRADE.
9. ALL UNDERGROUND STORM SEWER, WATER, SANITARY SEWER, GAS, AND ELECTRIC LINE LOCATIONS ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY.
10. CONTRACTOR TO OBTAIN ALL PERMITS AND LICENSES REQUIRED FOR DEMOLITION WORK SHOWN.
11. CONTRACTOR MUST PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING, AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.

GRADING NOTES

1. FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT COMPANY APPROVAL.
2. ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY ENGINEER AND SHALL BE PLACED IN 8" LAYERS COMPACTED TO 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
4. ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED TOP SOIL TO A MINIMUM 6" DEPTH. MATCH KUM & GO SPECIFICATIONS.
5. UTILITY TRENCHES SHALL BE EXCAVATED TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. PROVIDE SHORING, SHEETING, AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF THE TRENCH WALLS.
6. EXTEND THE TRENCH WIDTH A MINIMUM OF 6 INCHES BEYOND THE OUTSIDE OF THE OUTERMOST CONDUIT.
7. TESTING: FIELD TESTING OF EARTHWORK AND COMPACTION SHALL BE PERFORMED BY OWNER'S INDEPENDENT TESTING LAB. THIS WORK IS TO BE COORDINATED BY THE CONTRACTOR.
8. WHEN SOFT YIELDING OR OTHERWISE UNSTABLE SOIL CONDITIONS EXIST, EXCAVATE THE REQUIRED TRENCH TO A DEPTH OF NOT LESS THAN 12 INCHES BELOW THE REQUIRED ELEVATION, THEN BACKFILL WITH 12" OF GRANULAR BEDDING MATERIAL.
9. CONDUCT UTILITY CHECK TESTS BEFORE BACKFILLING. BACKFILL AND COMPACT TRENCH BEFORE ACCEPTANCE TESTING.
10. PLACE GRANULAR TRENCH BACKFILL UNIFORMLY ON BOTH SIDES OF THE CONDUITS IN 6-INCH UNCOMPACTED LIFTS UNTIL 12 INCHES OVER THE CONDUITS. SOLIDLY RAM AND TAMP BACKFILL INTO SPACE AROUND CONDUITS.
11. GRANULAR BEDDING AND TRENCH BACKFILL SHALL BE WELL-GRADED SAND MEETING THE GRADATION REQUIREMENTS OF ASTM D2487 (SH OR SW-SM).
12. GRANULAR BACKFILL SHALL MEET THE FOLLOWING GRADATION:

SIEVE SIZE	TOTAL PERCENT PASSING
1 1/2 INCH (37.5 MM)	100
1 INCH (25.0 MM)	75 TO 100
3/4 INCH (19.0 MM)	80 TO 100
3/8 INCH (9.5 MM)	35 TO 75
NO. 4 (4.75 MM)	30 TO 60
NO. 30 (0.600 MM)	7 TO 30
NO. 200 (0.075 MM)	3 TO 15

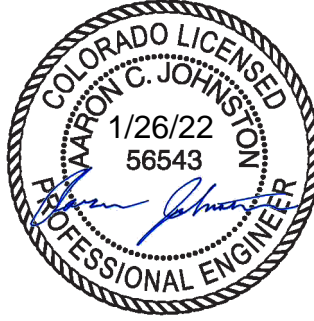
SUPERCARGER CABINET NOTE

1. PER NEC 625.22 - THE USER INTERFACE (CHARGE POST) IS CONTROLLED BY THE ELECTRICAL EQUIPMENT (SUPERCHARGER CABINET) AND THE FOLLOWING PRECAUTIONS HAVE BEEN TAKEN TO ENSURE THE SAFETY OF THE CUSTOMERS AND THOSE AROUND THE EQUIPMENT. BEFORE ANY VOLTAGE OR CURRENT IS APPLIED TO THE CHARGE POST, THE CABINET MUST COMMUNICATE WITH THE TESLA VEHICLE. THERE IS A 'HANDSHAKE' BETWEEN THE CAR AND THE CABINET CONFIRMING THAT THE VEHICLE IS ACTUALLY A TESLA AND THAT THE VEHICLE CAN HANDLE THE SUPERCHARGING. VOLTAGE IS THEN APPLIED TO THE POWER SOCKETS IN THE CHARGE POST AND ONCE THE VOLTAGE READING FROM THE CAR IS VERIFIED AS THE SAME IN THE CHARGING CABINET, THEN CURRENT BEGINS TO FLOW. IF AT ANY POINT IN THIS PROCESS A FAULT IS DETECTED, THE CHARGING WILL STOP IMMEDIATELY, WITHIN A MATTER OF MILLISECONDS. DURING THE NORMAL CHARGING CYCLE, IF ANY FAULT OR IRREGULARITY IS DETECTED, THE CHARGING WILL AGAIN STOP WITHIN MILLISECONDS OF DETECTION. BEYOND THIS LOGIC PROTECTION, THERE IS PHYSICAL PROTECTION FROM OVER-CURRENT OR OVER-VOLTAGE WITHIN EACH OF THE CHARGERS. BEYOND THAT, FAST ACTING FUSES ALSO PROTECT THE VEHICLE OUTPUTS FROM OUTPUTTING TOO HIGH OF CURRENT.



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CONSTRUCTION DOCUMENTS

TRT ID: 13493

KUM & GO #0308
7450 FEDERAL BLVD.
WESTMINSTER, CO 80030

#	Date	Issue / Description	Inlt.
1	12/10/21	1st CD100 SET	ACJ
2	1/6/22	2nd CD100 SET	ACJ
3	1/24/22	3rd CD100 SET	ACJ
4	1/25/22	4th CD100 SET	ACJ
-			

Project No:	TES000014
Drawn By:	RDG
Checked By:	ACJ
Date:	6/18/21

NOTES

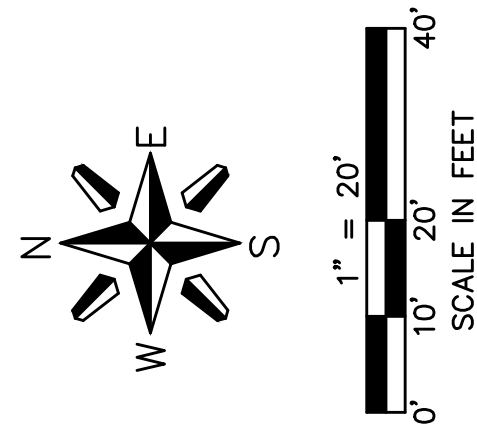
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1 OF 4

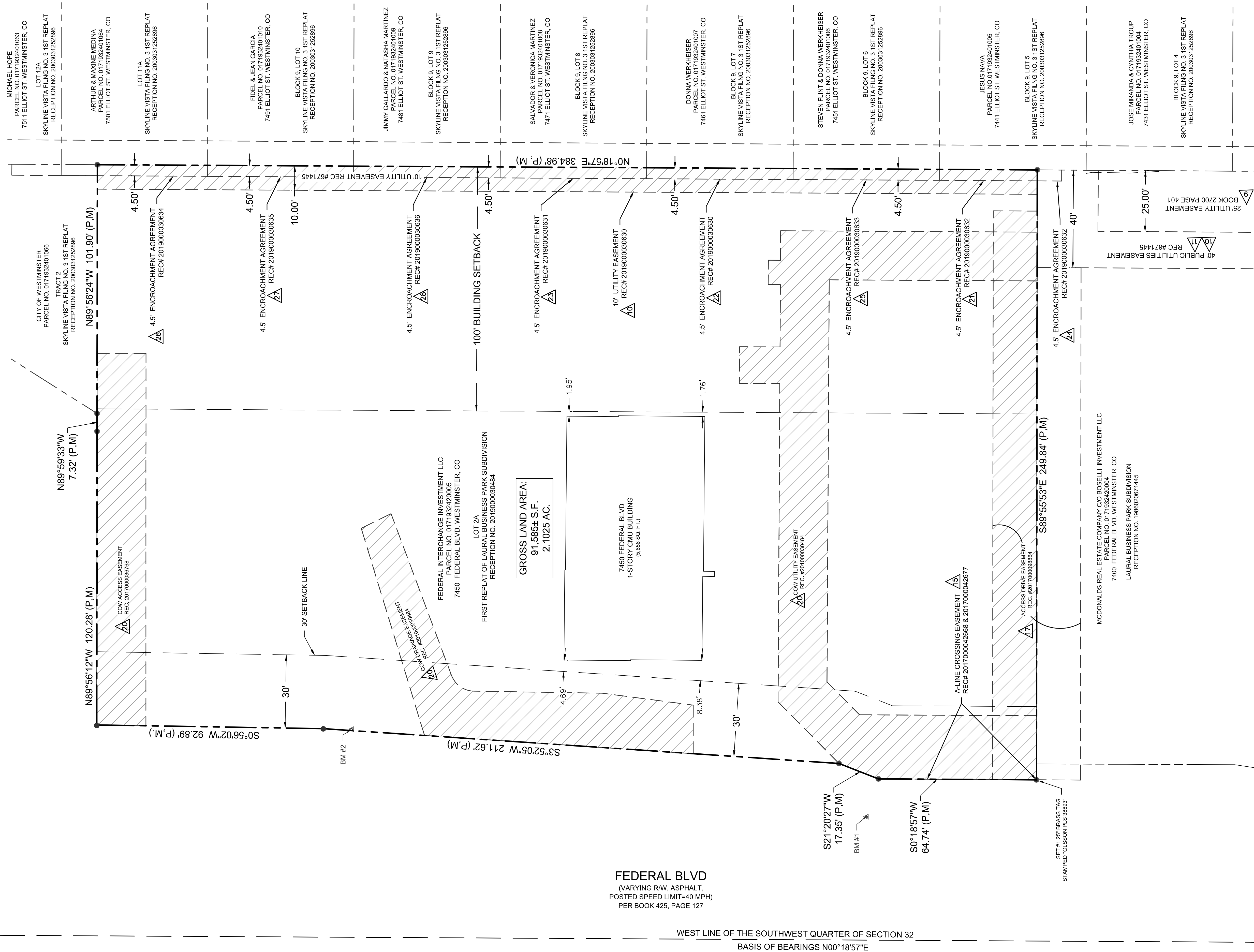
PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 68 WEST
CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

GENERAL NOTES:

1. BASIS OF BEARINGS MATCH THOSE PROVIDED ON THE PREVIOUS ALTA SURVEY BY WOOLPERT DATED JULY 6TH, 2017 USING FOUND CONTROL AND MONUMENTATION. BASIS OF BEARING STATED ON THAT SURVEY IS AS FOLLOWS: "BASIS OF BEARINGS IS ASSUMED N 00°15'57" E BETWEEN THE FOUND MONUMENTS SHOWN HEREON ON THE WEST LINE OF THE SE 1/4 SEC. 32."
2. ALL UNITS ARE IN US SURVEY FEET, GROUND DISTANCES.









CENTER CORNER OF SECTION 32
TOWNSHIP 2 SOUTH, RANGE 68 WEST
OF THE 6TH P.M. MONUMENTED BY A
FOUND 3.25" ALUMINUM CAP
STAMPED "PLS 11434".



NORTH CORNER OF SECTION 5 TOWNSHIP 2
SOUTH, RANGE 68 WEST OF THE 6TH P.M.
(SHOWN PER SHOT TIES, ROAD TOO BUSY
TO COLLECT).

SET #5 REBAR WITH ORANGE PLASTICCAP STAMPED "OLSSON PLS 38693"
FOUND 1.5" YELLOW PLASTIC CAP STAMPED "KELLEY PLS 24687"
(UNLESS NOTED OTHERWISE)
BENCHMARK
PLATTED DISTANCE
MEASURED DISTANCE
SCHEDULE B-II EXCEPTIONS
SECTION CORNER

LEGEND

- | | |
|---|-------------------|
| | BOUNDARY |
|  | PROPERTY LINE |
|  | SETBACK LINE |
|  | SECTION LINE |
|  | RIGHT-OF-WAY LINE |
|  | EASEMENT |
|  | EASEMENT HATCH |



6400 Westown Parkway
West Des Moines, Iowa
50266
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F: 515-223-9873

#0308 - Denver, Colorado
7450 FEDERAL BLVD

ALTA/NSPS LAND TITLE SURVEY

KG PROJECT TEAM:
RDM: JAKE JOHNSON
SDM: ROBERT RIEBIG
CPM: BRETT STUPP

△	DATE	REVISION DESCRIPTION
△1	06/30/2020	UPDATE WITH NEW TRICKLE CHANNEL & RAMP
△2	08/06/2020	UPDATE WITH NEW RAMP

DATE: 04.17.2020

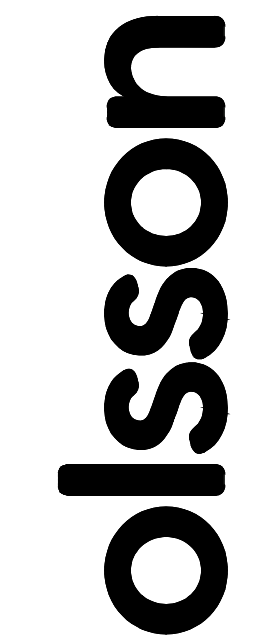
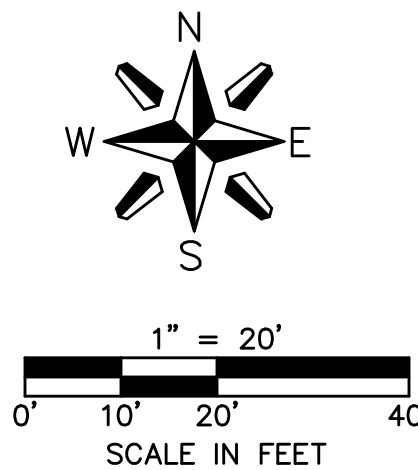
SHEET NUMBER

2 OF 4

1

525 Raleigh St. Suite 400
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classon # 020-0328

PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 68 WEST
CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO



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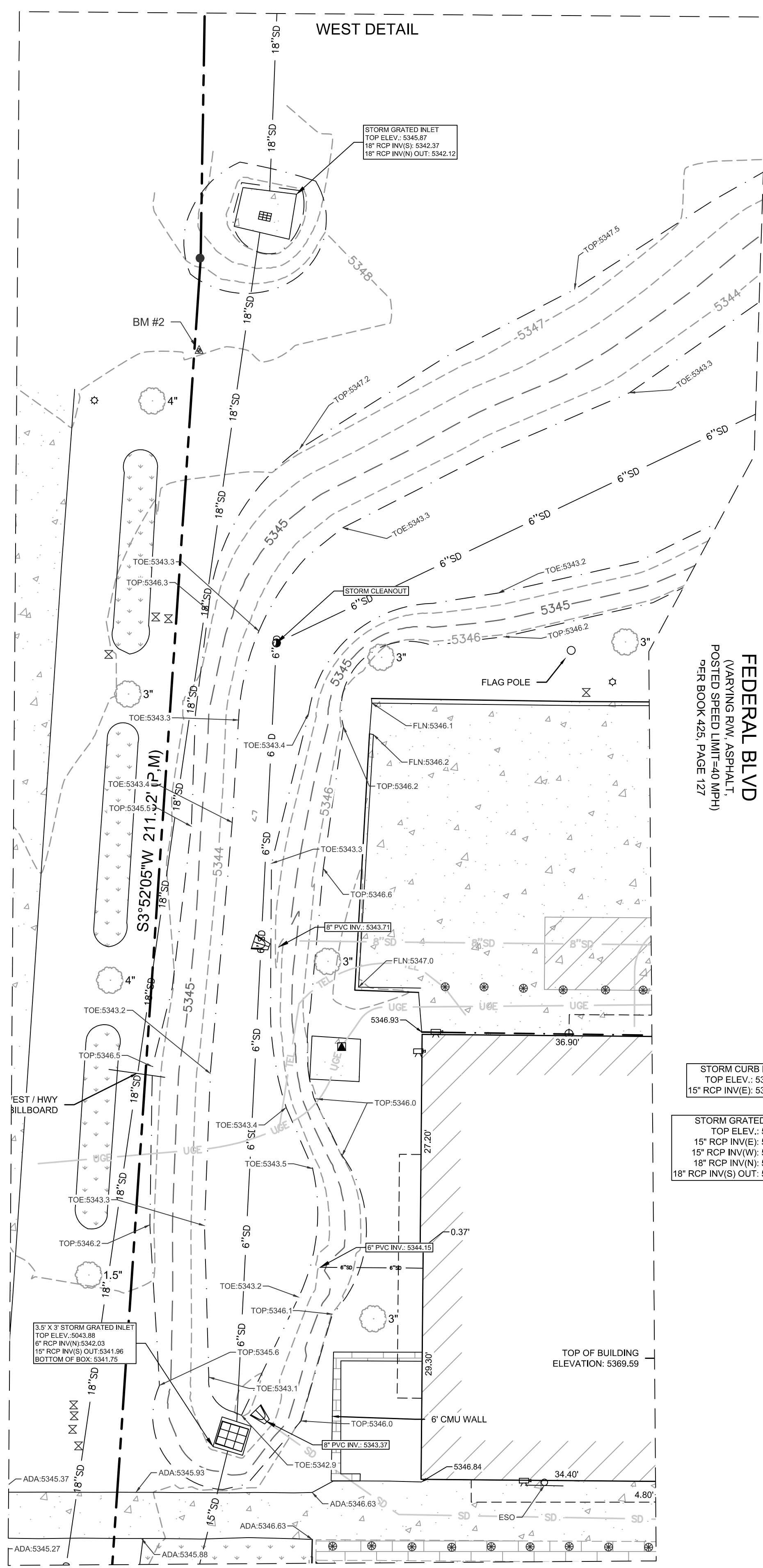
#0308 - Denver, Colorado
7450 FEDERAL BLVD
ALT/NPS LAND TITLE SURV

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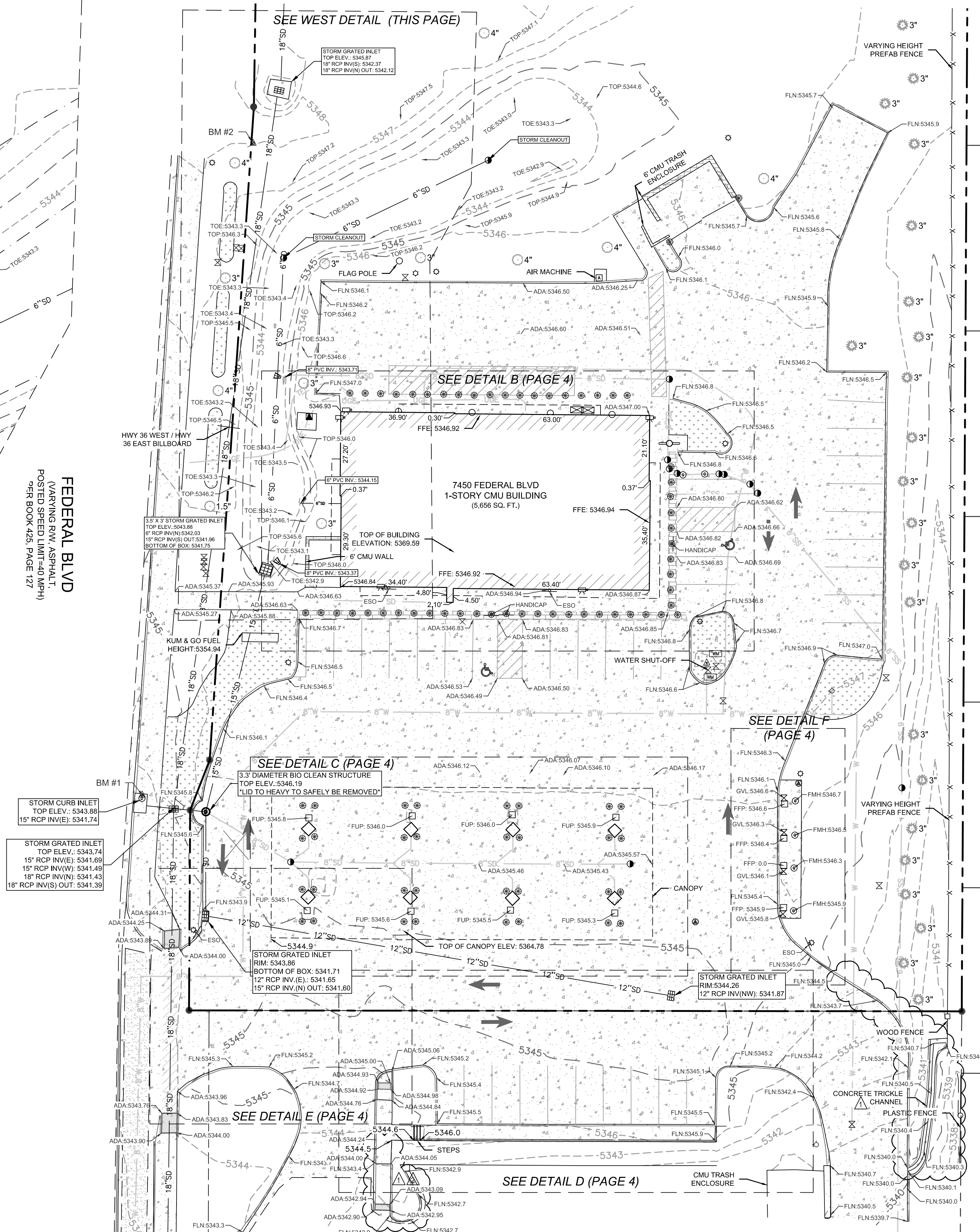
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DATE: 04.17.2020

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DETAIL "A"
SCALE 1' = 10"



SEE DETAIL D (PAGE 4)

LEGEND

- | | |
|-----|--|
| | BENCHMARK |
| | BIKE RACK |
| | BOLLARD |
| | CAMERA |
| | CONIFEROUS TREE (AND APPROXIMATE TRUNK DIAMETER) |
| | DECIDUOUS TREE (AND APPROXIMATE TRUNK DIAMETER) |
| | ELECTRIC CABINET |
| | ELECTRIC OUTLET |
| | ELECTRIC TRANSFORMER |
| ESO | EMERGENCY SHUT OFF |
| FFE | FINISHED FLOOR ELEVATION |
| | FIRE HYDRANT |
| | FLARED END SECTION |
| | FOUND MONUMENT (AS DESCRIBED ON SHEET 2) |
| FFP | FUEL FILL PORT |
| FUP | FUEL FILL PUMP |
| | FUEL MANHOLE |
| | GAS VALVE |
| | GRATE INLET |
| | GREASE TRAP |
| PVC | POLYVINYL PLASTIC PIPE |
| | ROOF DRAIN |
| | HANDICAP PARKING SPACE |
| INV | INVERT OF PIPE |
| | IRRIGATION VALVE |
| | LIGHT POLE |
| | MONITORING WELL |
| | REINFORCED CONCRETE PIPE |
| RCP | ROOF DRAIN |
| | SANITARY SEWER MANHOLE |
| | SET MONUMENT (AS DESCRIBED ON SHEET 2) |
| | SEWER CLEANOUT |
| | SIGN |
| | STORM DRAINAGE MANHOLE |
| TOE | TOE OF POND |
| TOP | TOP OF POND |
| | WATER FAUCET |
| | WATER METER |
| | WATER VALVE |
| | YARD LIGHT |
| | BOUNDARY |
| | PROPERTY LINE |
| | CURB AND GUTTER |
| | SANITARY SEWER (SHOWN PER PLANS) |
| | STORM SEWER |
| | STORM SEWER (SHOWN PER PLANS) |
| | WATER MAIN (SHOWN PER PLANS) |
| | TELEPHONE (SHOWN PER PLANS) |
| | MAJOR CONTOUR |
| | MINOR CONTOUR |
| | BUILDING |
| | CONCRETE |
| | ADA SIDEWALK PAD |
| | DECORATIVE BRICK |
| | ASPHALT |
| | LANDSCAPE AREA |

BENCHMARKS

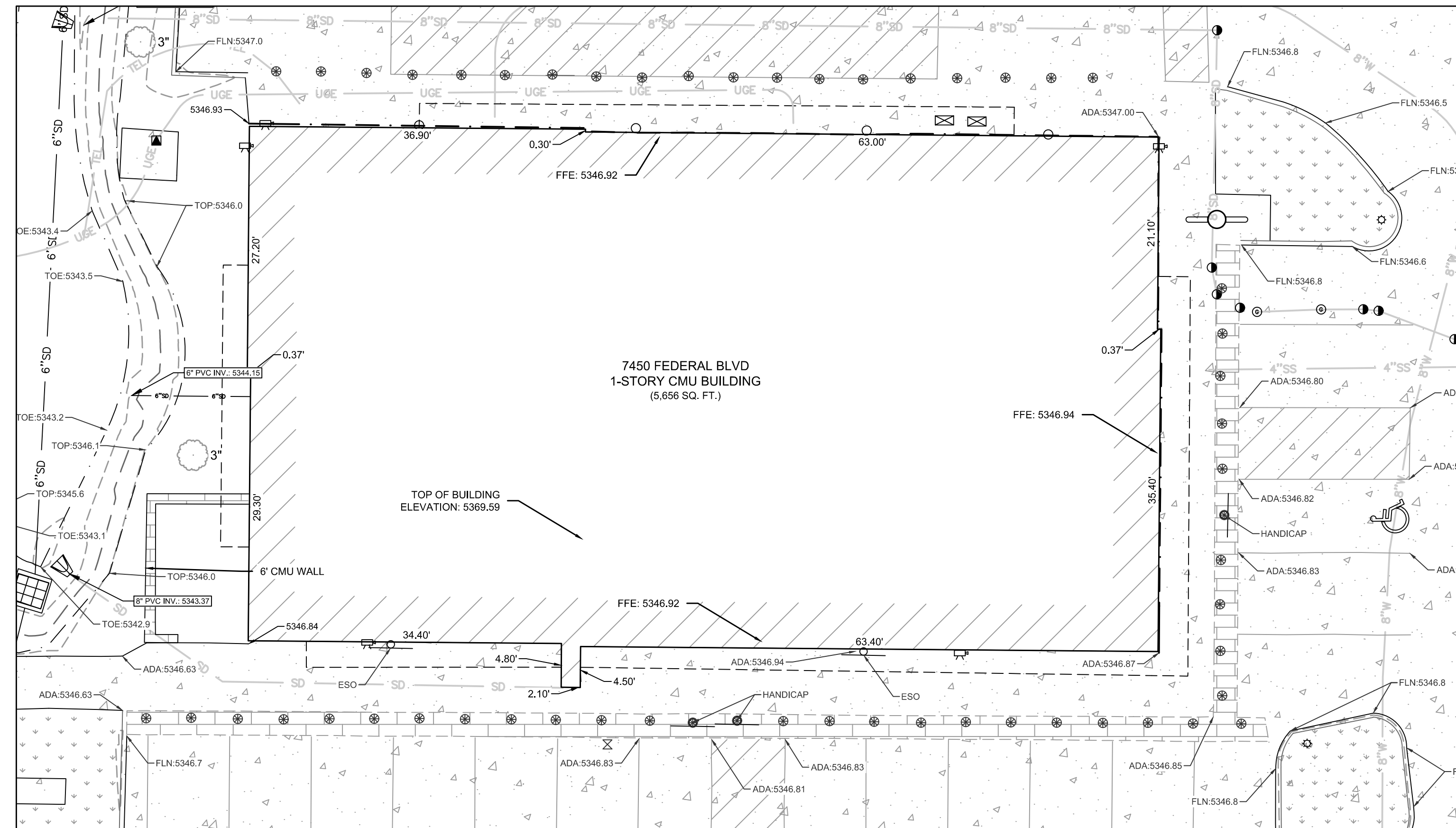
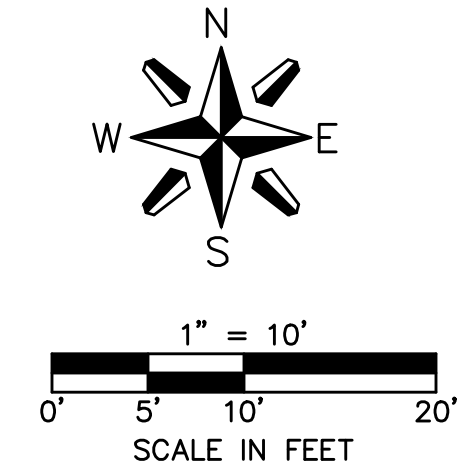
BM#1-CHEISEL "X" ON THE NORTH SIDE OF A STORM SEWER MANHOLE ALONG
FEDERAL BLVD.
ELEV.=5343.84 (NAVD 88)

BM#2-#5 REBAR WITH A RED PLASTIC CAP STAMPED "OLSSON CONTROL POINT" 15.4' BEHIND THE SIDEWALK ALONG FEDERAL BLVD.
ELEV.=5348.67 (NAVD 88)

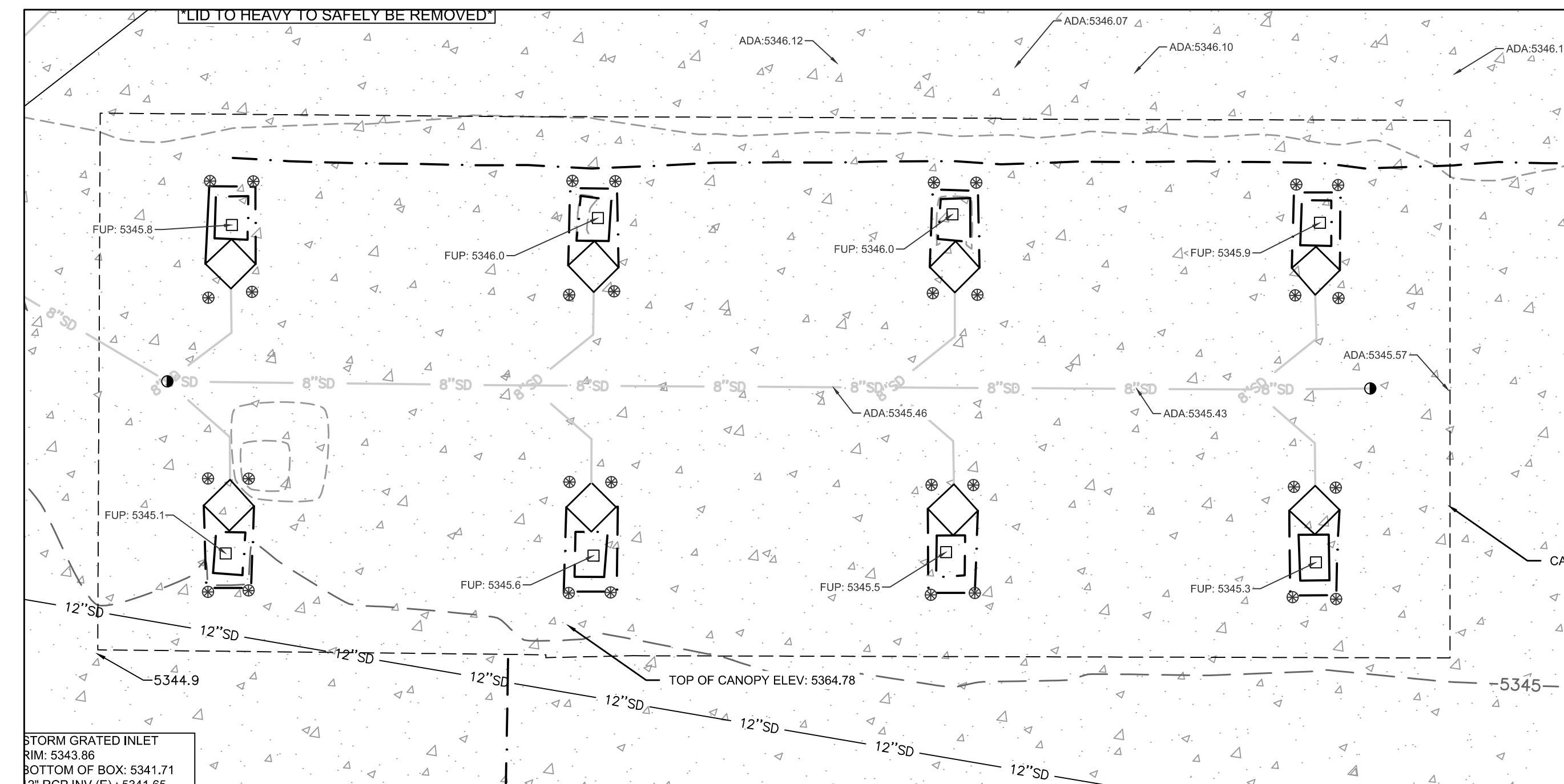
NOTE:

OLSSON AND THE SURVEYOR OF RECORD MAKE NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. OLSSON AND THE SURVEYOR OF RECORD FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. OLSSON AND THE SURVEYOR OF RECORD HAVE NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. IF ANY UNDERGROUND UTILITY LOCATIONS ARE REQUIRED, THEY WILL HAVE TO BE VERIFIED BY FIELD POTHOLING THE UTILITIES. OLSSON AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.

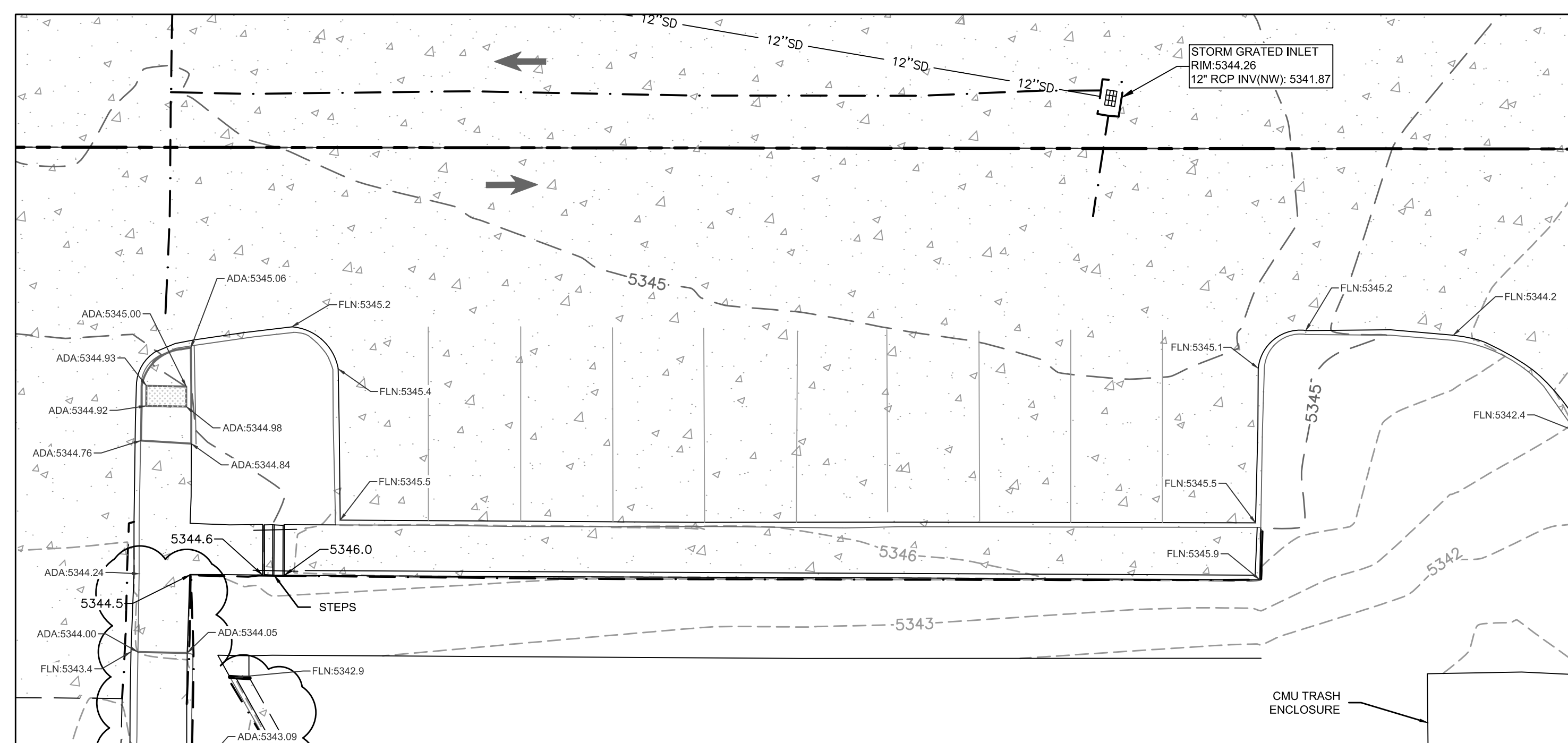
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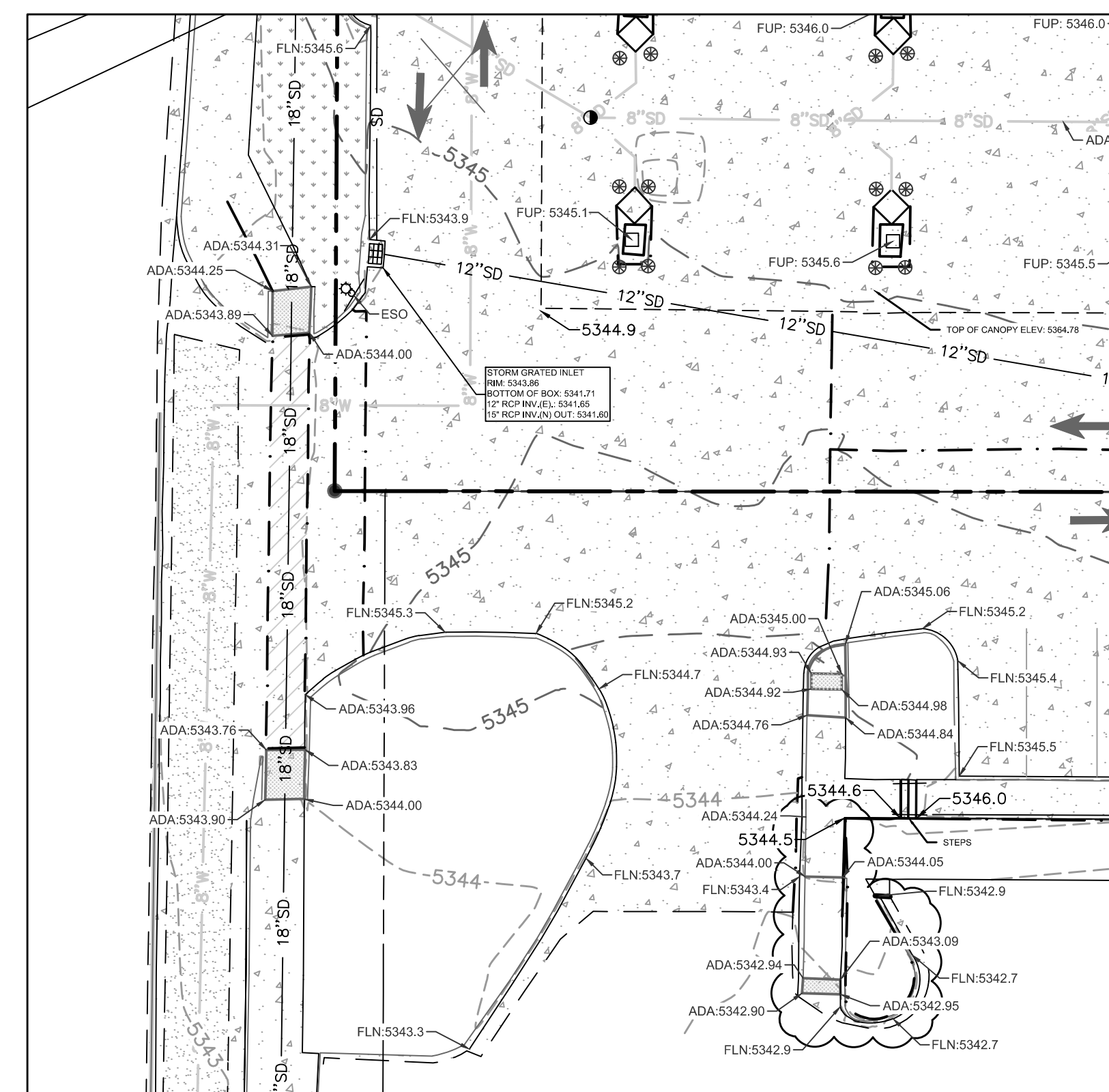
DETAIL "B" BUILDING
SCALE 1' = 10"



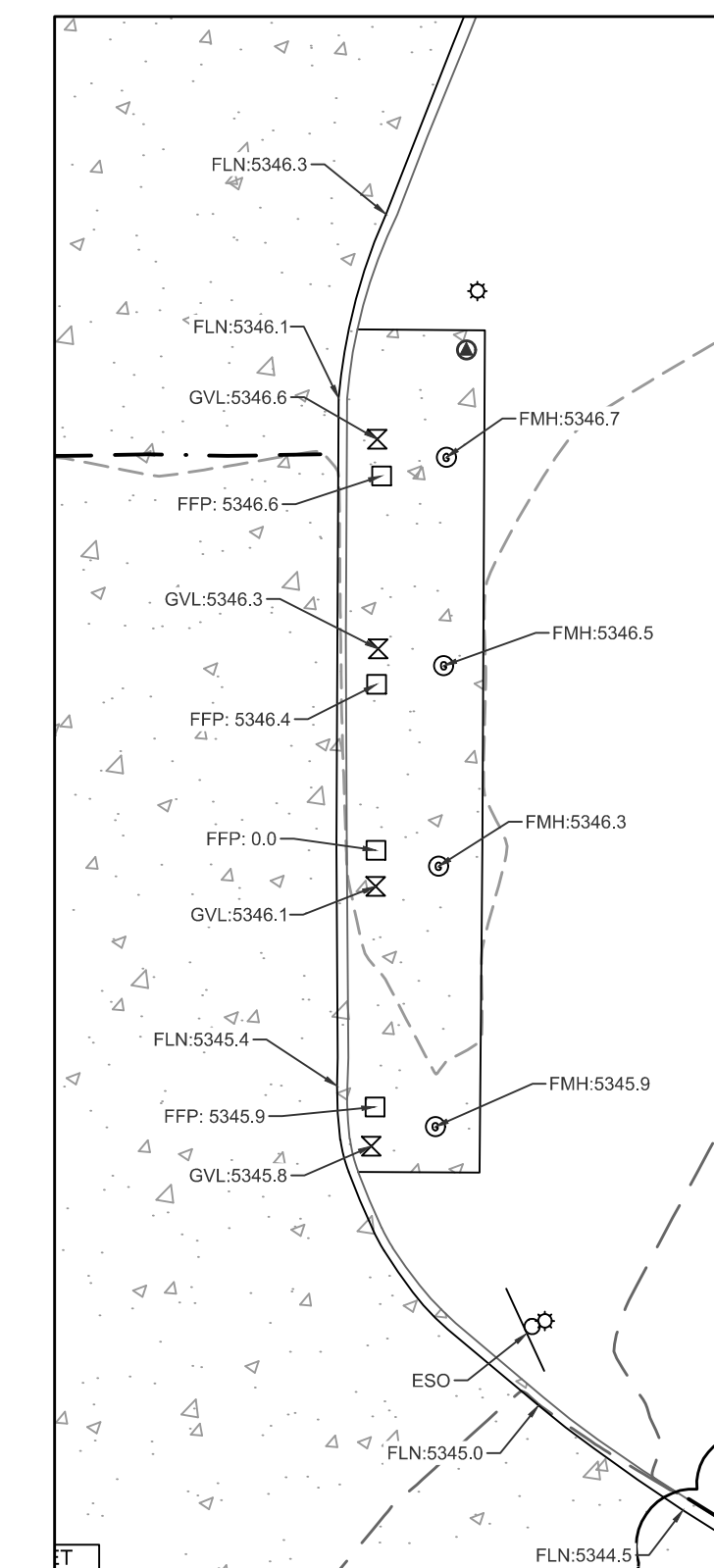
DETAIL "C" FUEL CANOPY
SCALE 1' = 10"



DETAIL "D" SOUTH PARKING LOT
SCALE 1' = 10"



DETAIL "E" FUEL SOUTHWEST ENTRANCES
SCALE 1' = 10"



DETAIL "F" FUEL FILL PORTS
SCALE 1" = 10"

olson

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Olsson # 020-0328
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ALTA/NSPS LAND TITLE SURVEY

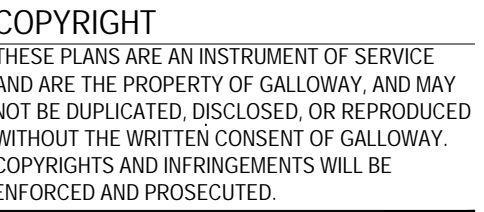
KG PROJECT TEAM:
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SDM: ROBERT RIEBIG
CPM: BRETT STUPP

	DATE	REVISION DESCRIPTION
A	06/30/2020	UPDATE WITH NEW TRICKLE CHANNEL & RAMP
A	08/03/2020	UPDATE WITH NEW RAMP
REVISIONS		

DATE: 04.17.2020

SHEET NUMBER:

4 OF 4

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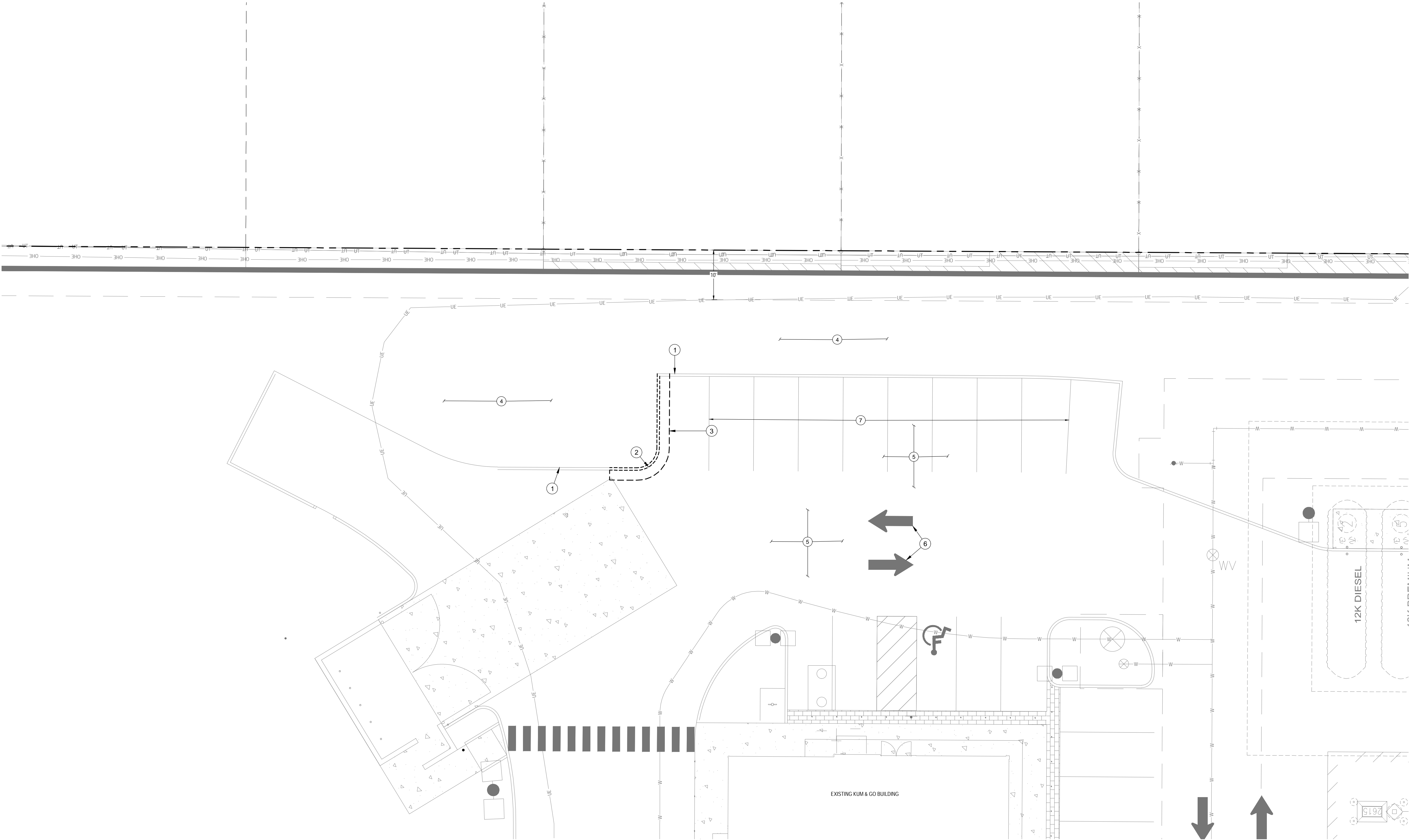
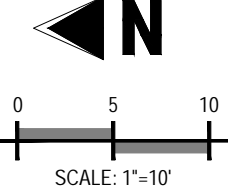
Project No:	TES000014
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DEMOLITION PLAN

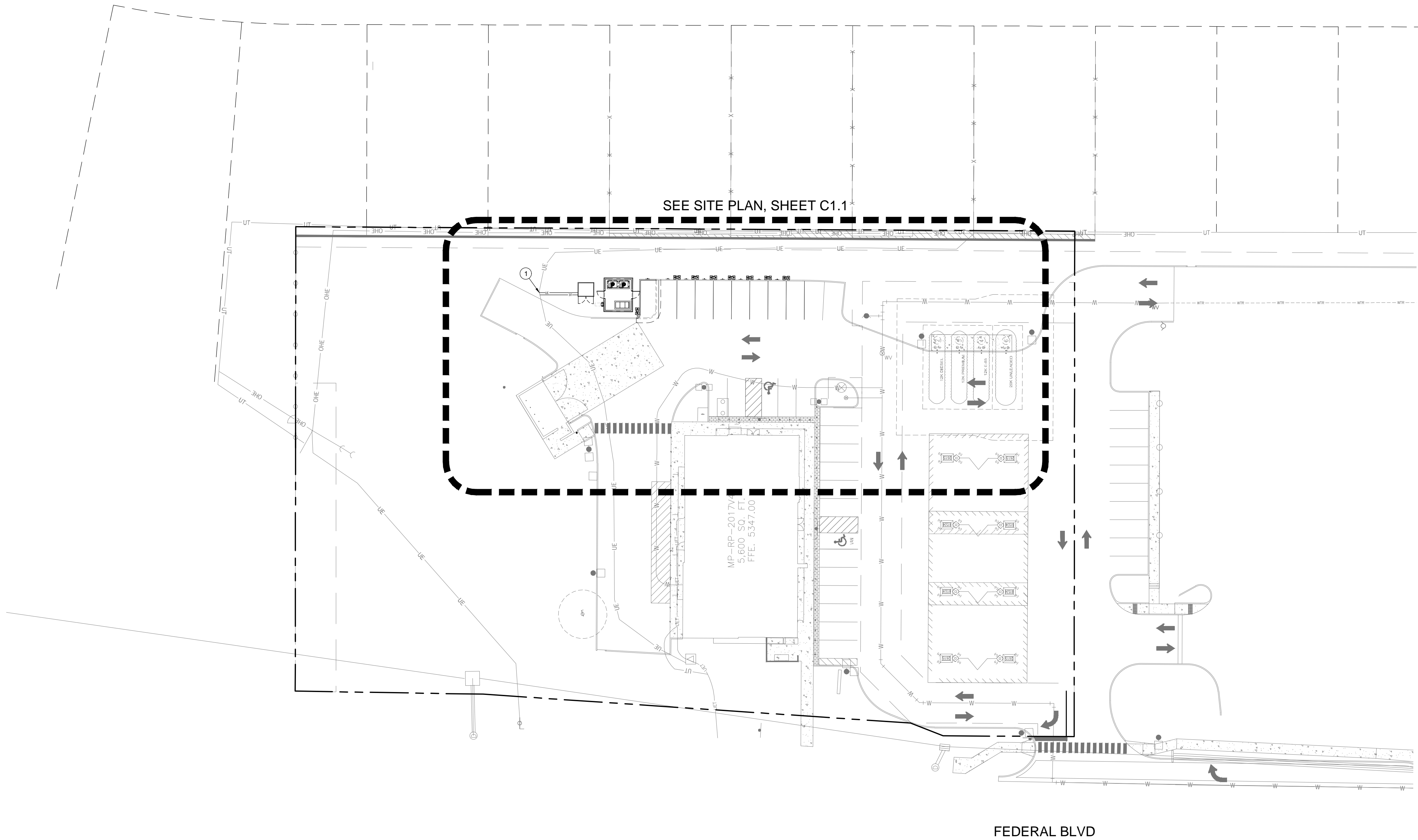
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- ① EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- ② EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED
- ③ PROPOSED SAWCUT
- ④ EXISTING LANDSCAPING TO BE MODIFIED PER LANDSCAPE PLAN
- ⑤ EXISTING CONCRETE PAVEMENT TO REMAIN
- ⑥ EXISTING PAVEMENT MARKING TO REMAIN
- ⑦ EXISTING PARKING LOT STRIPING TO REMAIN

 PROPERTY BOUNDARY LINE
 EASEMENT
 EXISTING STORM SEWER TO REMAIN
 EXISTING IRRIGATION TO REMAIN
 EXISTING TO BE REMOVED
 PROPOSED SAWCUT
 EXISTING LIGHT POLE



K:\Tribal\CO Westminister\Kum & Go - TES000014\CD\CD1004 CD1004 C1.1 Overall Site Plan - Auto.dwg - 2018-04-18

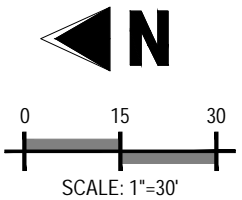


LEGEND

- PROPERTY BOUNDARY LINE
- - - ADJACENT PROPERTY BOUNDARY LINE
- - - UTILITY EQUIPMENT CLEARANCE BOUNDARY
- - - EASEMENT
- - - PROPOSED SIGN
- - - PROPOSED TESLA CHARGING POST

CONSTRUCTION KEYNOTES

① CONNECT UNDERGROUND ELECTRIC SERVICE TO EXISTING 300KVA TRANSFORMER



Galloway

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PROFESSIONAL ENGINEER
R. C. JOHNSON
1/26/22
56543
COLORADO LICENSED

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CONSTRUCTION DOCUMENTS
TRT ID: 13493

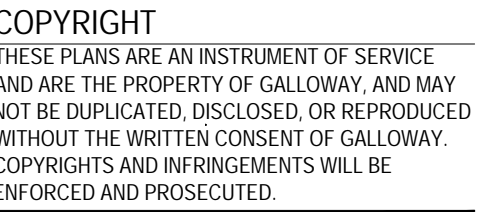
KUM & GO #0308
7450 FEDERAL BLVD.
WESTMINSTER, CO 80030

#	Date	Issue / Description	Init.
1	12/10/21	1st CD100 SET	ACJ
2	1/6/22	2nd CD100 SET	ACJ
3	1/24/22	3rd CD100 SET	ACJ
4	1/25/22	4th CD100 SET	ACJ

Project No:	TES000014
Drawn By:	RDG
Checked By:	ACJ
Date:	6/18/21

OVERALL SITE PLAN

C1.0



	Date	Issue / Description	Init.
1	12/10/21	1st CD100 SET	ACJ
2	1/6/22	2nd CD100 SET	ACJ
3	1/24/22	3rd CD100 SET	ACJ
4	1/25/22	4th CD100 SET	ACJ
-			

Project No:	TES000014
Drawn By:	RDG
Checked By:	ACJ
Date:	6/18/21

SITE ELEVATIONS

C1.2