





# KUM & GO #0308 ALTAINSPS LAND TITLE SURVEY

PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 68 WEST  
CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

CHICAGO TITLE INSURANCE COMPANY  
FILE NO: N0010674-030-TH-PD SCHEDULE "A" DESCRIPTION

LOT 2A, FIRST REPLAT OF LAURAL BUSINESS PARK SUBDIVISION, CITY OF WESTMINSTER COUNTY OF ADAMS,  
STATE OF COLORADO

## SCHEDULE "B" PART 2 EXCEPTIONS

- ANY FACTS, RIGHTS, INTERESTS, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR THAT MAY BE ASSERTED BY PERSONS IN POSSESSION OF THE LAND. **[NONE KNOWN OR PROVIDED]**
- EASEMENTS, LIENS OR ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS. **[NONE KNOWN OR PROVIDED]**
- ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND NOT SHOWN BY THE PUBLIC RECORDS. **[NONE KNOWN OR PROVIDED]**
- ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS. **[NOT A SURVEY RELATED ITEM]**
- DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF BUT PRIOR TO THE DATE OF THE PROPOSED INSURED ACQUIRES OF RECORD FOR VALUE THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT. **[NOT A SURVEY RELATED ITEM]**
- WATER RIGHTS, CLAIMS OF TITLE TO WATER, WHETHER OR NOT THESE MATTERS ARE SHOWN BY THE PUBLIC RECORDS. **[NOT A SURVEY RELATED ITEM]**
- ALL TAXES AND ASSESSMENTS, NOW OR HERETO FORE ASSESSED, DUE OR PAYABLE. **[NOT A SURVEY RELATED ITEM]**
- TERMS, CONDITIONS, PROVISIONS, AGREEMENTS, RESERVATIONS AND OBLIGATIONS CONTAINED IN THE DEED AS SET FORTH BELOW: RECORDED AUGUST 4, 1951 IN BOOK 425 AT PAGE 146. **[DOCUMENT RESTRICTS ACCESS OF SUBJECT PROPERTY TO FEDERAL. NOT PLOTTED]**
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A PUBLIC UTILITY EASEMENT DOCUMENT RECORDED DECEMBER 8, 1982 IN BOOK 2700 AT PAGE 401. **[EASEMENT LIES SOUTH OF AND DOES NOT TOUCH SUBJECT PROPERTY AS SHOWN HEREON]**
- EASEMENTS, NOTES, TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS AS SHOWN ON THE PLAT LAURAL BUSINESS PARK RECORDED AUGUST 15, 1986 AT RECEPTION NO. 671445. **[EASEMENT SHARES A COMMON LINE WITH THE SOUTH PROPERTY LINE OF THE SUBJECT PROPERTY AS SHOWN HEREON]**
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT GRANTED TO ROSZ INVESTMENTS, INC, A COLORADO CORPORATION FOR THE PURPOSE OF INGRESS, EGRESS AND UTILITY LOCATION RECORDED ON OCTOBER 7, 1986 IN BOOK 3213 AT PAGE 25. **[DOCUMENT DESCRIBES SAME EASEMENT AS EXCEPTION NO.10, SHARING THE COMMON LINE WITH THE SOUTH PROPERTY LINE OF THE SUBJECT PROPERTY AS SHOWN HEREON]**
- ANY EXISTING LEASES OR TENANCIES, AND ANY AND ALL PARTIES CLAIMING BY, THROUGH OR UNDER SAID LESSEES. **[NOT A SURVEY RELATED ITEM]**
- THE CONSEQUENCES OF, AND ANY LOSS OR DAMAGE RESULTING FROM THE VIOLATION OR NON-COMPLIANCE IN ANY MANNER WHATSOEVER BY THE PROPOSED INSURED OF THE LAWS, BY-LAWS, RULES AND REGULATIONS OF ADAMS COUNTY IN REGARD TO THE LEGAL DESCRIPTION IN SCHEDULE A, ITEM 4, AND THE FAILURE TO PROPERLY RECORD ANY NECESSARY DOCUMENTATION TO CREATE SAID LEGAL DESCRIPTION, WHICH MAY OR MAY NOT BE REQUIRED BY SAID COUNTY. **[NOT A SURVEY RELATED ITEM]**
- TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE DEED AS SET FORTH IN THE DOCUMENT RECORDED AUGUST 4, 1951 IN BOOK 425 AT PAGE 146. **[DOCUMENT RESTRICTS ACCESS OF SUBJECT PROPERTY TO FEDERAL. NOT PLOTTED]**
- RESERVATIONS, EASEMENTS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE DEEDS AS SET FORTH IN THE DOCUMENTS RECORDED ON APRIL 27, 2017 AT RECEPTION NO. 201700036768 AND MAY 17, 2017 AT RECEPTION NO. 2017000042677. **[DOCUMENT COVERS A PORTION OF THE SUBJECT PROPERTY AND RESTRICTS ACCESS. NOT PLOTTED]**
- TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE DEVELOPMENT AGREEMENT AS RECORDED ON NOVEMBER 8, 2017 AT RECEPTION NO. 201700098863. **[DOCUMENT CONTAINS EASEMENTS, AGREEMENTS, AND OTHER ITEMS THAT ARE BLANKET IN NATURE AND NOT PLOTTABLE]**
- TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE RECIPROCAL EASEMENT AGREEMENT RECORDED ON NOVEMBER 8, 2017 AT RECEPTION NO. 201700098864. **[ACCESS EASEMENT COVERING THE SOUTHERN 18 FEET OF THE PROPERTY AS SHOWN HEREON]**
- TERMS, EASEMENTS, STATEMENTS CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE OFFICIAL DEVELOPMENT PLAN OF LAUREL BUSINESS PARK AS RECORDED ON MARCH 21, 2019 AT RECEPTION NO. 2019000020718. **[DEVELOPMENT PLAN IS BLANKET IN NATURE, COVERS THE ENTIRE PROPERTY, AND IS NOT PLOTTABLE]**
- TERMS, EASEMENTS, STATEMENTS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE PUBLIC IMPROVEMENT AGREEMENT AS RECORDED ON APRIL 16, 2019 AT RECEPTION NO. 2019000027676. **[AGREEMENT IS BLANKET IN NATURE, COVERS THE ENTIRE PROPERTY, AND IS NOT PLOTTABLE]**
- EASMENTS, NOTES, TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS AS SHOWN ON THE FIRST REPLAT OF LAURAL BUSINESS PARK SUBDIVISION RECORDED APRIL 25, 2019 AT RECEPTION NO. 2019000030484. **[REPLAT DEFINES THE BOUNDARY OF THE SUBJECT PROPERTY AND CREATES EASEMENT AS SHOWN HEREON]**
- TERMS, EASEMENT, STATEMENTS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE ENCROACHMENT AGREEMENT AS RECORDED ON APRIL 25, 2019 AT RECEPTION NO. 2019000030629. **[THIS ENCROACHMENT AGREEMENT COVERS A PORTION OF THE PROPERTY ALONG THE EAST LINE AS SHOWN HEREON]**
- TERMS, EASEMENTS, STATEMENTS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE ENCROACHMENT AGREEMENT AS RECORDED ON APRIL 25, 2019 AT RECEPTION NO. 2019000030630. **[THIS ENCROACHMENT AGREEMENT COVERS A PORTION OF THE PROPERTY ALONG THE EAST LINE AS SHOWN HEREON]**
- TERMS, EASEMENTS, STATEMENTS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE ENCROACHMENT AGREEMENT AS RECORDED ON APRIL 25, 2019 AT RECEPTION NO. 2019000030631. **[THIS ENCROACHMENT AGREEMENT COVERS A PORTION OF THE PROPERTY ALONG THE EAST LINE AS SHOWN HEREON]**
- TERMS, EASEMENTS, STATEMENTS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE ENCROACHMENT AGREEMENT AS RECORDED ON APRIL 25, 2019 AT RECEPTION NO. 2019000030632. **[THIS ENCROACHMENT AGREEMENT COVERS A PORTION OF THE PROPERTY ALONG THE EAST LINE AS SHOWN HEREON]**
- TERMS, EASEMENTS, STATEMENTS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE ENCROACHMENT AGREEMENT AS RECORDED ON APRIL 25, 2019 AT RECEPTION NO. 2019000030633. **[THIS ENCROACHMENT AGREEMENT COVERS A PORTION OF THE PROPERTY ALONG THE EAST LINE AS SHOWN HEREON]**
- TERMS, EASEMENTS, STATEMENTS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE ENCROACHMENT AGREEMENT AS RECORDED ON APRIL 25, 2019 AT RECEPTION NO. 2019000030634. **[THIS ENCROACHMENT AGREEMENT COVERS A PORTION OF THE PROPERTY ALONG THE EAST LINE AS SHOWN HEREON]**
- TERMS, EASEMENTS, STATEMENTS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE ENCROACHMENT AGREEMENT AS RECORDED ON APRIL 25, 2019 AT RECEPTION NO. 2019000030635. **[THIS ENCROACHMENT AGREEMENT COVERS A PORTION OF THE PROPERTY ALONG THE EAST LINE AS SHOWN HEREON]**
- TERMS, EASEMENTS, STATEMENTS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE ENCROACHMENT AGREEMENT AS RECORDED ON APRIL 25, 2019 AT RECEPTION NO. 2019000030636. **[THIS ENCROACHMENT AGREEMENT COVERS A PORTION OF THE PROPERTY ALONG THE EAST LINE AS SHOWN HEREON]**
- TERMS, EASEMENTS, STATEMENTS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE LANDSCAPING AND PRIVATE IMPROVEMENTS AGREEMENT AS RECORDED ON MAY 17, 2019 AT RECEPTION NO. 2019-000037238. **[THIS AFFECTS THE SUBJECT PROPERTY. THIS AGREEMENT IS BLANKET IN NATURE, AND NOT PLOTTED HEREON]**

## GENERAL NOTES:

- BASIS OF BEARINGS MATCH THOSE PROVIDED ON THE PREVIOUS ALTA SURVEY BY WOOLPERT DATED JULY 6TH, 2017 USING FOUND CONTROL AND MONUMENTATION. BASIS OF BEARING STATEMENT ON THAT SURVEY IS AS FOLLOWS: "BASIS OF BEARINGS IS ASSUMED N 00°18'57" E BETWEEN THE FOUND MONUMENTS SHOWN HEREON ON THE WEST LINE OF THE SE 1/4 SEC. 32."
- ALL UNITS ARE IN US SURVEY FEET, GROUND DISTANCES.
- MONUMENTS WERE FOUND OR SET AS SHOWN HEREON. (TABLE A ITEM 1)
- ADDRESS OF THE SURVEYED PROPERTY: 7450 FEDERAL BLVD WESTMINSTER, COLORADO. (TABLE A ITEM 2)
- FLOOD ZONE NOTE SHOWN ON SHEET 1. (TABLE A ITEM 3)
- GROSS LAND AREA: THE SUBJECT PROPERTY CONTAINS 91,585 SQUARE FEET OR 2.102 ACRES. (TABLE A ITEM 4)
- VERTICAL RELIEF IS SHOWN AT 1-FOOT CONTOURS. THE SURVEY'S VERTICAL RELIEF WAS BASED OFF OF CITY OF WESTMINSTER POINT 216 (3" BRASS CAP IN A RANGE BOX FOR THE CENTER QUARTER OF SECTION 32 HAS A PUBLISHED ELEVATION OF 5379.28 FROM THE CITY GIS MAPPING DEPARTMENT. (TABLE A ITEM 5)
- ZONING PROVIDED BY THE CLIENT. SEE NOTE SHOWN ON SHEET 1. (TABLE A ITEM 6)
- BUILDING INFORMATION SHOWN ON SHEET 3. (TABLE A ITEM 7)
- FEATURES SHOWN HEREON ARE THOSE AS THEY WERE ON THE DATE OF SURVEY. SEE SHEET 3. (TABLE A ITEM 8)
- THERE ARE 26 TOTAL PARKING SPACES ON SITE AND 2 ARE ADA ACCESSIBLE PARKING SPACES. (TABLE A ITEM 9)
- UTILITIES: SEE UTILITY NOTE ON SHEET 3. (TABLE A ITEM 11)
- NAMES OF ADJOINING OWNERS SHOWN ON SHEET 2. (TABLE A ITEM 13)
- THERE WAS EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION AS SHOWN ON SHEET 3. (TABLE A ITEM 16)
- THERE WERE RECENT CHANGES IN SIDEWALK AND CHANGES TO STREET RIGHT OF WAYS ALONG THE SUBJECT PROPERTY. (TABLE A ITEM 17)



VICINITY MAP  
NOT TO SCALE

## ZONING INFORMATION:

ZONING INFORMATION SHOWN BELOW WAS PROVIDED AND CONFIRMED BY THE CLIENT. NO OTHER RESEARCH HAS BEEN MADE ON THE PART OF THE SURVEYOR TO CONFIRM OR CHECK THIS INFORMATION.

ZONE C-1	
MINIMUM LOT AREA (SQUARE FEET)	N/A
MINIMUM LOT WIDTH (FEET)	N/A
SITE AREA PER UNIT (SQUARE FEET)	N/A
FRONT YARD SETBACK	30 FEET
SIDE YARD SETBACK	N/A
REAR YARD SETBACK	1 FOOT
MAXIMUM HEIGHT (FEET)	35 FEET

## FLOOD ZONE

ACCORDING TO F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER: 08059C0209F 080008. EFFECTIVE DATE: FEBRUARY 5, 2014. THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN.

## CERTIFICATION

I HEREBY CERTIFY TO:

KUM & GO, L.C., AN IOWA LIMITED LIABILITY COMPANY, AND CHICAGO TITLE INSURANCE GROUP, AND FEDERAL INTERCHANGE INVESTMENT LLC, A COLORADO LIMITED LIABILITY COMPANY

THIS IS TO CERTIFY THAT THIS SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTAINSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7(A), 7(B)(1), 7(C), 8, 9, 11, 13, 16, 17 AND 20 OF TABLE "A" THEREOF.

THIS ALTA SURVEY WAS PREPARED USING THE COMMITMENT FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY, FILE NO. N0010674-030-TH-PD, EFFECTIVE DATE OF 03/11/2020 AT 8:00 AM.

Field work was completed on March 25, 2020.

Field work for Revision 1 was completed on June 26, 2020.

Construction field work for Revision 2 was completed on July 31, 2020.

Field work for Revision 2 was completed on August 6, 2020.

## SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF COLORADO.

DATED THIS 7TH DAY OF AUGUST, 2020.

  
NICHOLAS S. SCHRADER, CO PLS 38693  
OLSSON, INC.  
1525 RALEIGH ST. SUITE #400  
DENVER, CO 80204  
303.237.2072



SHEETS COVERED BY THIS SEAL:  
1 OF 4, 2 OF 4, 3 OF 4 AND 4 OF 4

**olsson**  
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6400 Westown Parkway  
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50266  
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#0308 - Denver, Colorado  
7450 FEDERAL BLVD  
ALTAINSPS LAND TITLE SURVEY

KG PROJECT TEAM:  
RDM: JAKE JOHNSON  
SDM: ROBERT RIEBIG  
CPM: BRETT STUPP

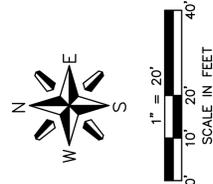
REVISION DESCRIPTION	DATE	BY
UPDATE WITH NEW TRUCKLE CHANNEL & RAMP	08/30/2020	
UPDATE WITH NEW RAMP	08/02/2020	

DATE: 04.17.2020

SHEET NUMBER:

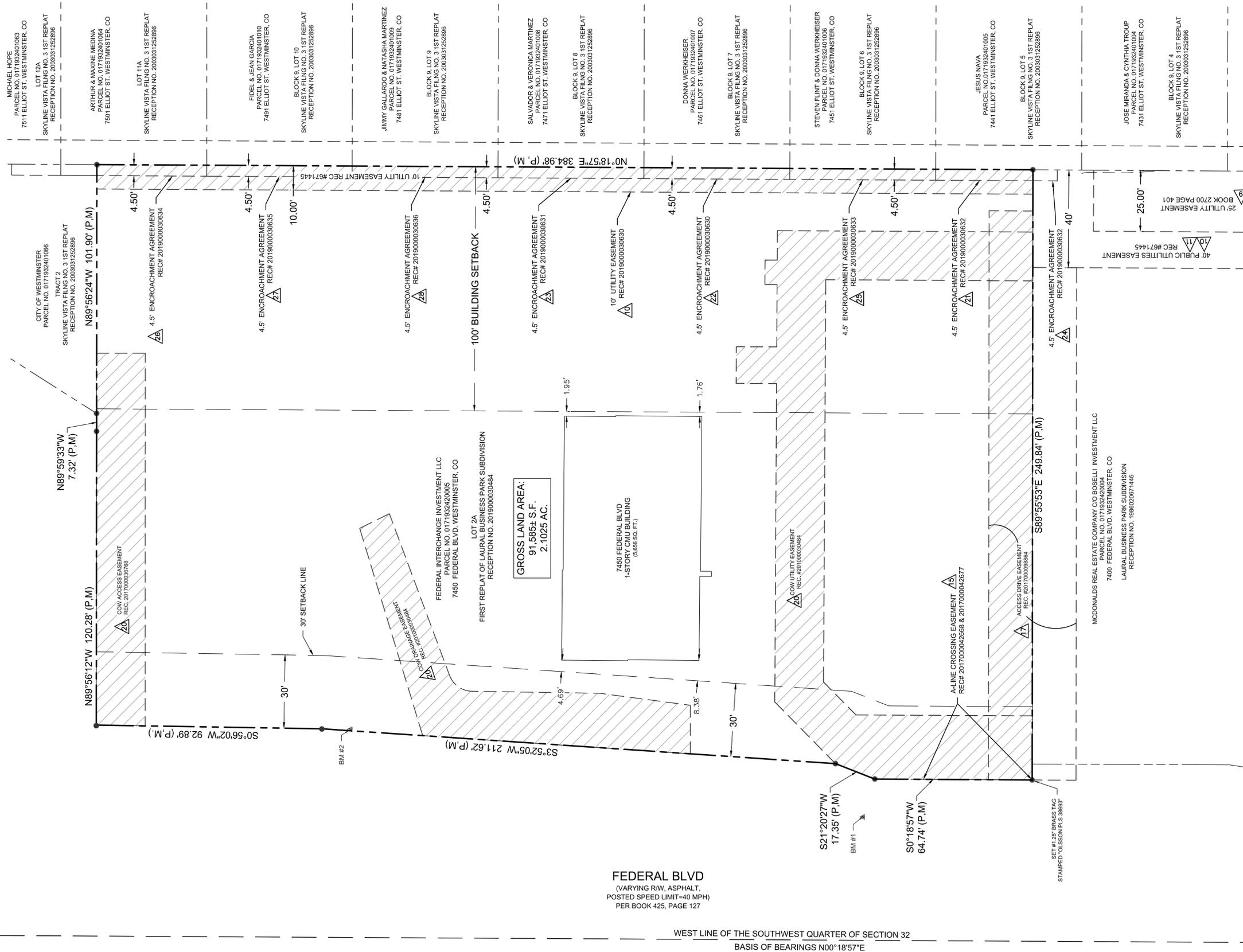
1 OF 4

CENTER CORNER OF SECTION 32  
TOWNSHIP 2 SOUTH, RANGE 68 WEST  
OF THE 6TH P.M. MONUMENTED BY A  
FOUND 3.25" ALUMINUM CAP  
STAMPED "PLS 11434".



**GENERAL NOTES:**

1. BASIS OF BEARINGS MATCH THOSE PROVIDED ON THE PREVIOUS ALTA SURVEY BY WOODPERT DATED JULY 6TH, 2017 USING FOUND CONTROL AND MONUMENTATION. BASIS OF BEARING STATEMENT ON THAT SURVEY IS AS FOLLOWS: "BASIS OF BEARINGS IS ASSUMED N 00°18'57" E BETWEEN THE FOUND MONUMENTS SHOWN HEREON ON THE WEST LINE OF THE SE 1/4 SEC. 32."
2. ALL UNITS ARE IN US SURVEY FEET, GROUND DISTANCES.



**LEGEND**

- BOUNDARY
- PROPERTY LINE
- SETBACK LINE
- SECTION LINE
- RIGHT-OF-WAY LINE
- EASEMENT
- EASEMENT HATCH

SET #5 REBAR WITH ORANGE PLASTIC CAP STAMPED "OLSSON PLS 38693"  
FOUND 1.5" YELLOW PLASTIC CAP STAMPED "KELLEY PLS 24667"  
BENCHMARK  
MEASURED DISTANCE  
SCHEDULE B41 EXCEPTIONS  
SECTION CORNER

NORTH CORNER OF SECTION 5 TOWNSHIP 2  
SOUTH, RANGE 68 WEST OF THE 6TH P.M.  
(SHOWN PER SHOT TIES, ROAD TOO BUSY  
TO COLLECT).

DATE	REVISION DESCRIPTION
06/30/2020	UPDATE WITH NEW TRICKLE CHANNEL & RAMP
08/02/2020	UPDATE WITH NEW RAMP

DATE: 04.17.2020  
SHEET NUMBER:  
**2 OF 4**

6400 Westown Parkway  
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#0308 - Denver, Colorado  
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ALTANSPS LAND TITLE SURVEY

KG PROJECT TEAM:  
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REVISIONS



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# KUM & GO #0308

## ALTA/NSPS LAND TITLE SURVEY

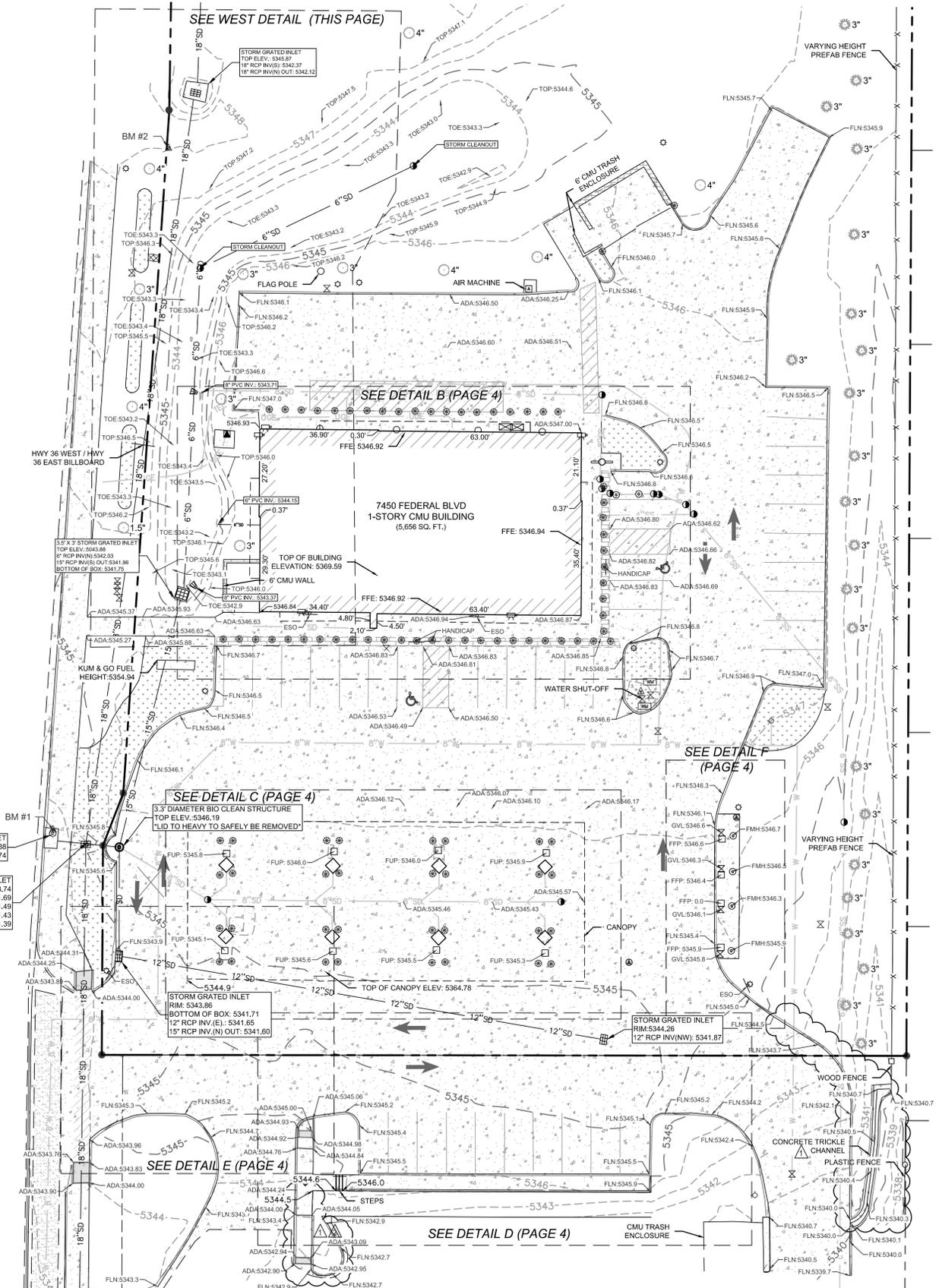
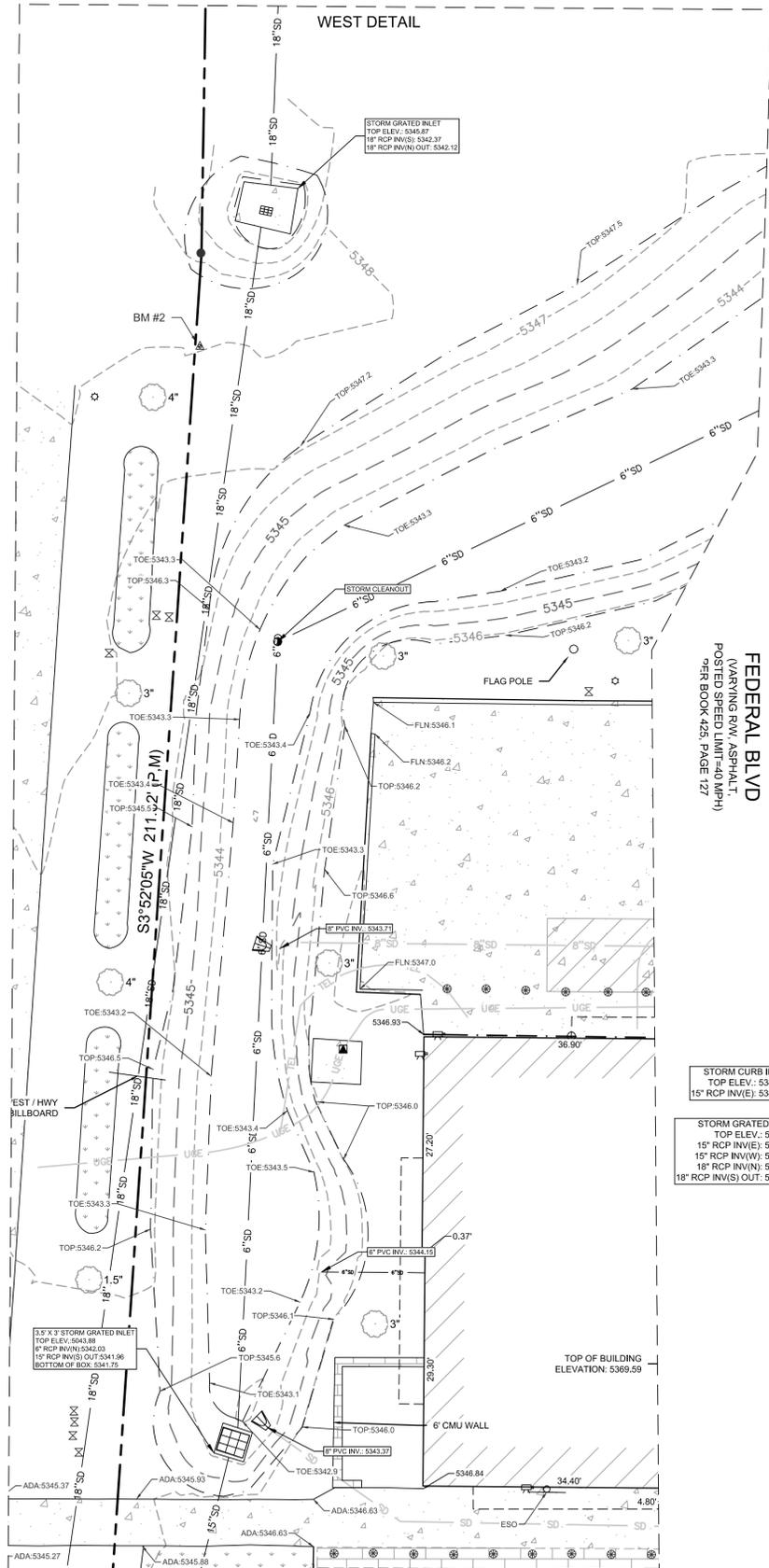
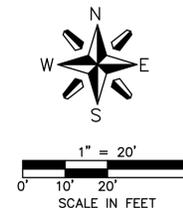
PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 68 WEST  
CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO

FEDERAL BLVD  
(VARYING RW, ASPHALT,  
POSTED SPEED LIMIT=40 MPH)  
PER BOOK 425, PAGE 127

WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 32  
BASIS OF BEARINGS N00°18'57"E

# KUM & GO #0308 ALTA/NSPS LAND TITLE SURVEY

PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 68 WEST  
CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO



### LEGEND

- BENCHMARK
- BIKE RACK
- BOLLARD
- CAMERA
- CONIFEROUS TREE (AND APPROXIMATE TRUNK DIAMETER)
- DECIDUOUS TREE (AND APPROXIMATE TRUNK DIAMETER)
- ELECTRIC CABINET
- ELECTRIC OUTLET
- ELECTRIC TRANSFORMER
- EMERGENCY SHUT OFF
- FINISHED FLOOR ELEVATION
- FIRE HYDRANT
- FLAG END SECTION
- FOUND MONUMENT (AS DESCRIBED ON SHEET 2)
- FUEL FILL PORT
- FUEL FILL PUMP
- FUEL MANHOLE
- GAS VALVE
- GRATE INLET
- GREASE TRAP
- PVC
- ROOF DRAIN
- HANDICAP PARKING SPACE
- INVERT OF PIPE
- IRRIGATION VALVE
- LIGHT POLE
- MONITORING WELL
- REINFORCED CONCRETE PIPE
- ROOF DRAIN
- SANITARY SEWER MANHOLE
- SET MONUMENT (AS DESCRIBED ON SHEET 2)
- SEWER CLEANOUT
- SIGN
- STORM DRAINAGE MANHOLE
- TOE OF POND
- TOP OF POND
- WATER FAUCET
- WATER METER
- WATER VALVE
- YARD LIGHT
- BOUNDARY
- PROPERTY LINE
- CURB AND GUTTER
- SANITARY SEWER (SHOWN PER PLANS)
- SD
- STORM SEWER
- STORM SEWER (SHOWN PER PLANS)
- W
- WATER MAIN (SHOWN PER PLANS)
- TELEPHONE (SHOWN PER PLANS)
- MAJOR CONTOUR
- MINOR CONTOUR
- BUILDING
- CONCRETE
- ADA SIDEWALK PAD
- DECORATIVE BRICK
- ASPHALT
- LANDSCAPE AREA

### BENCHMARKS

BM#1-CHISELED "X" ON THE NORTH SIDE OF A STORM SEWER MANHOLE ALONG FEDERAL BLVD. ELEV.=5343.84 (NAVD 88)

BM#2-#5 REBAR WITH A RED PLASTIC CAP STAMPED "OLSSON CONTROL POINT" 15.4' BEHIND THE SIDEWALK ALONG FEDERAL BLVD. ELEV.=5348.67 (NAVD 88)

### NOTE:

OLSSON AND THE SURVEYOR OF RECORD MAKE NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. OLSSON AND THE SURVEYOR OF RECORD FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. OLSSON AND THE SURVEYOR OF RECORD HAVE NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. IF ANY UNDERGROUND UTILITY LOCATIONS ARE REQUIRED, THEY WILL HAVE TO BE VERIFIED BY FIELD POTHOLES THE UTILITIES. OLSSON AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.

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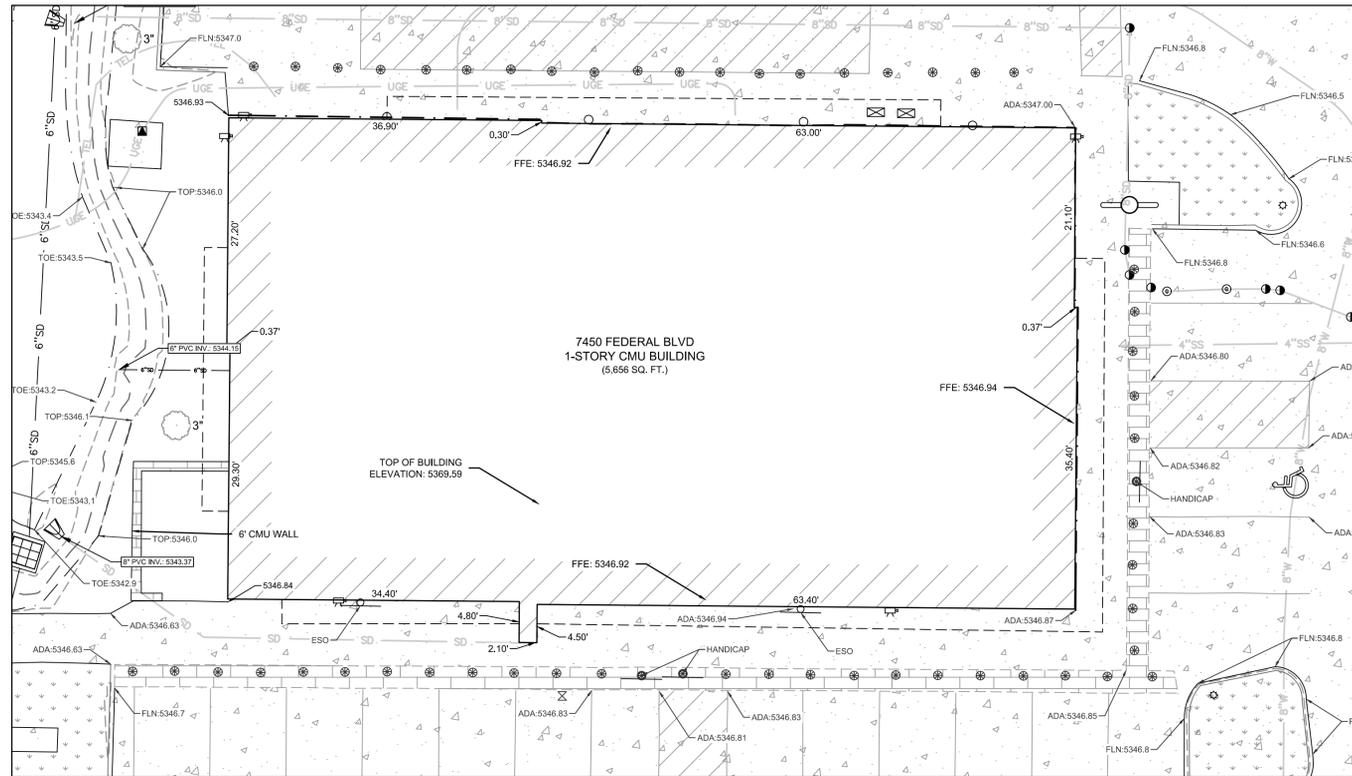
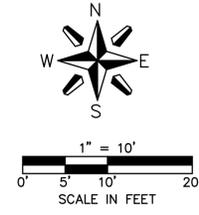
REVISION DESCRIPTION	DATE
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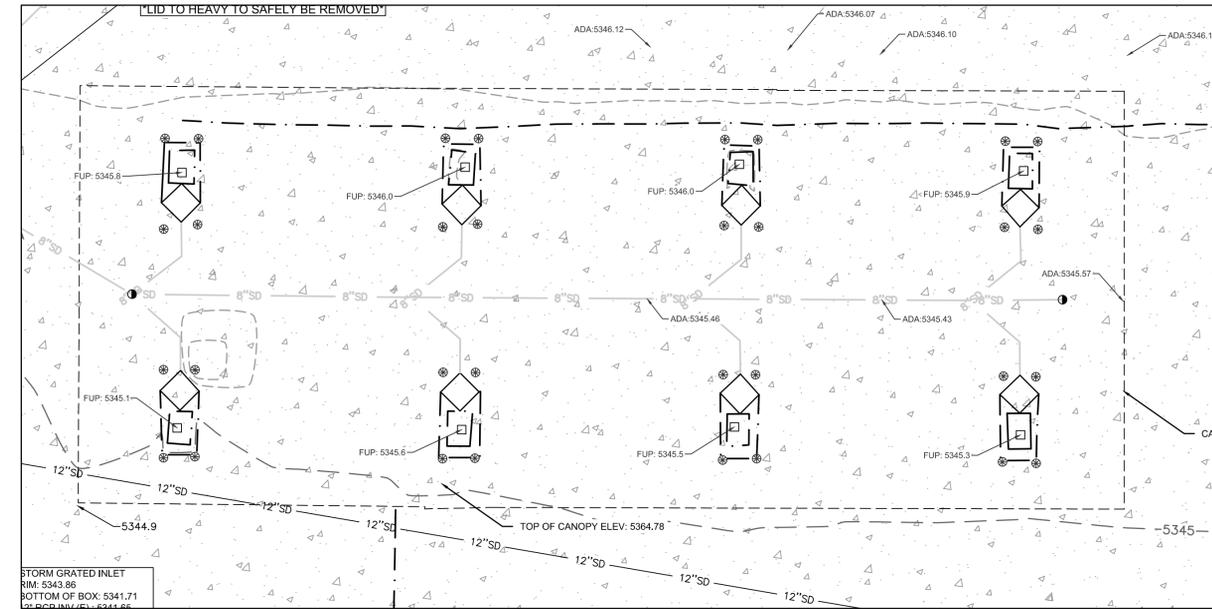
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**3 OF 4**

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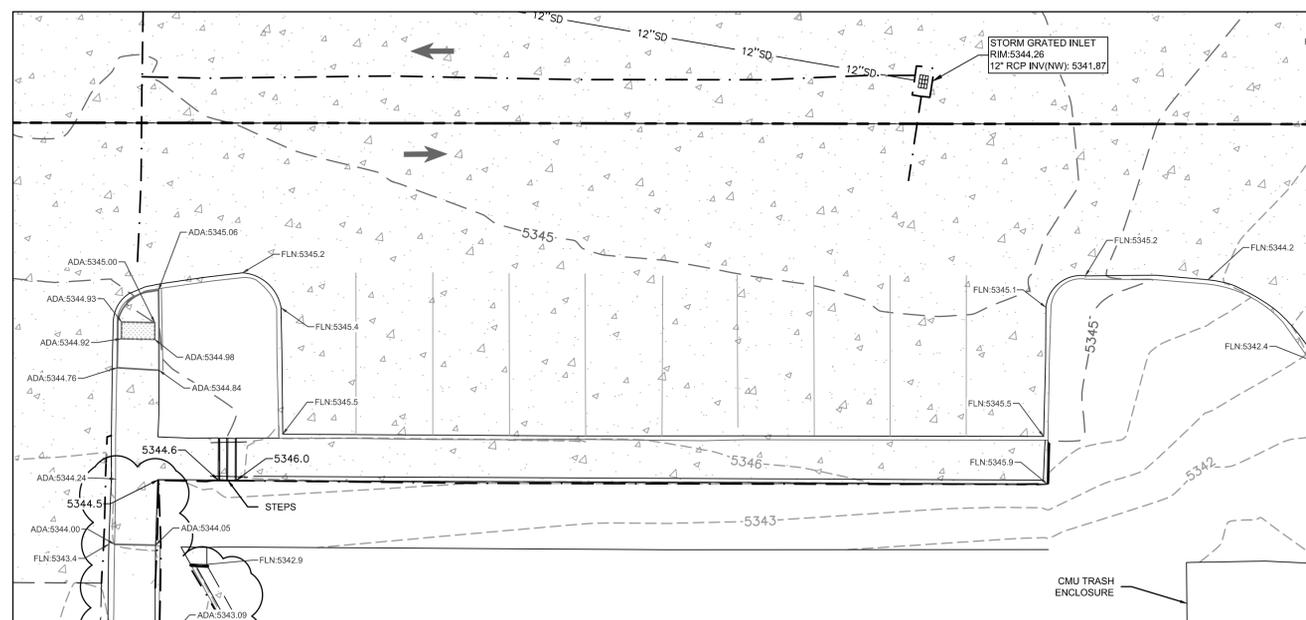
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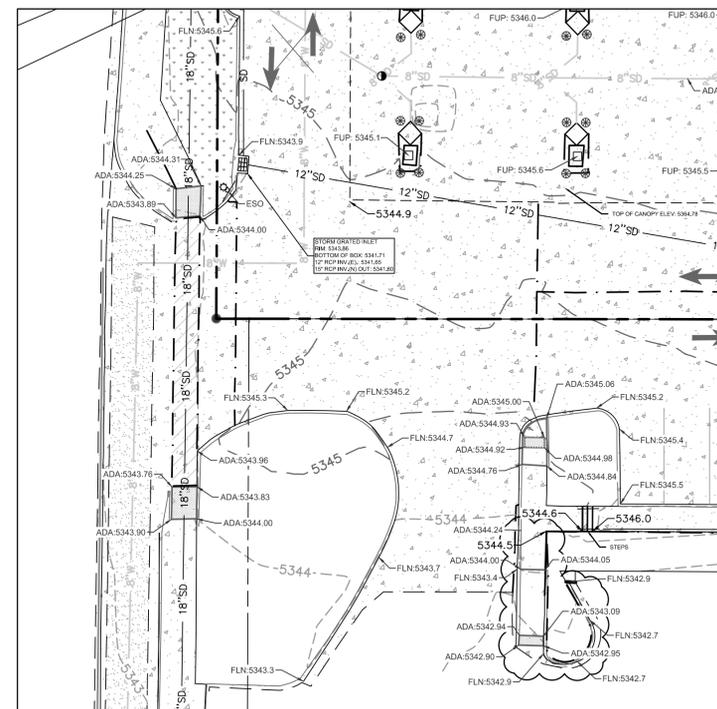
**DETAIL "B" BUILDING**  
SCALE 1" = 10"



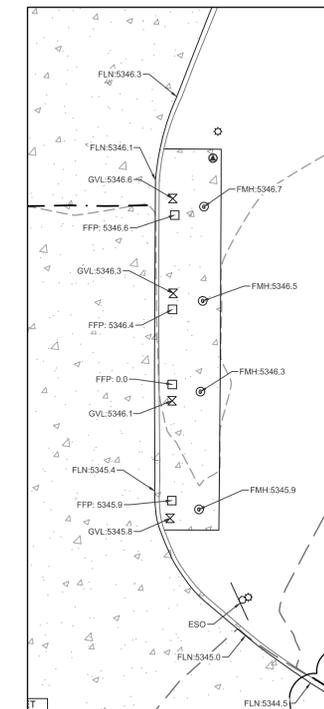
**DETAIL "C" FUEL CANOPY**  
SCALE 1" = 10"



**DETAIL "D" SOUTH PARKING LOT**  
SCALE 1" = 10"



**DETAIL "E" FUEL SOUTHWEST ENTRANCES**  
SCALE 1" = 10"



**DETAIL "F" FUEL FILL PORTS**  
SCALE 1" = 10"

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PROFESSIONAL LAND SURVEYOR  
38693  
8/17/2020



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